



HERITAGE IMPACT STUDY
4210 INGLEWOOD DR.
BURLINGTON, ON
JUNE 19, 2017

Overview:

This report is prepared to address the proposed re-development of the existing single family dwelling at 4210 Inglewood Dr., Burlington ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to assess the heritage impact of an original design by Darren Sanger-Smith of Structured Creations Inc. and to complete a Heritage Impact Study to document the impact of this intervention.

Terms of Reference:

The City of Burlington required terms of reference are as follows:

Part II Policy 8.4.1 b) of the City of Burlington Official Plan:

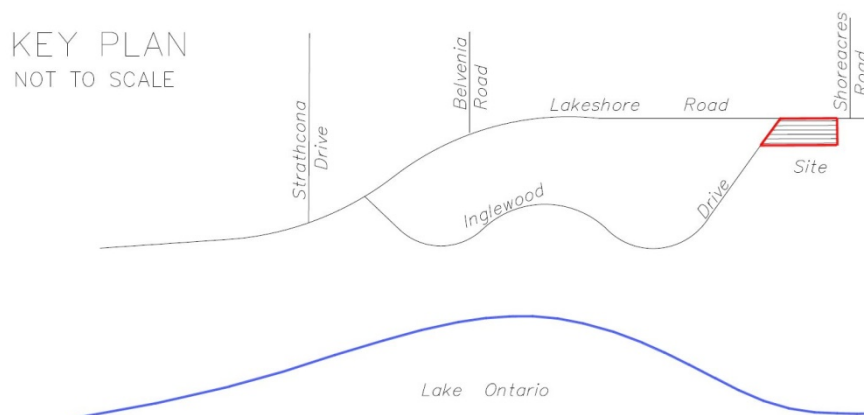
Completion of a heritage impact statement shall be required prior to any approvals for proposed development where the City foresees potential adverse impacts on the cultural heritage attributes (including important vistas and streetscape) of a property designated pursuant to The Ontario Heritage Act, or on a property worthy of designation. Completion of a heritage impact statement may be required prior to any approvals for proposed development where the City foresees potential adverse impacts on the cultural heritage attributes of any other property identified on the City's Inventory of Cultural Heritage Resources. The content of a heritage impact statement may include, but is not limited to, the following:

- (i) an assessment of the cultural heritage value of the resource;
- (ii) a description of the proposal, including a location map showing proposed buildings, existing land uses and buildings, and existing cultural heritage landscape features;
- (iii) the physical condition of the resource (including that of any adjacent resource that may be directly or indirectly affected by the proposal);
- (iv) a description of the impacts that may be reasonably caused to the cultural heritage resource;

(v) identification of several conservation options taking into consideration the significance of the cultural heritage resource itself, the context of the resource and all applicable municipal, provincial or federal heritage conservation principles. The advantages and disadvantages of each option will be identified, as will a preferred option;

(vi) a description of the actions necessary to prevent, change, mitigate or remedy any expected impacts upon the cultural heritage resource.

Key map:



Site Context - Overview:

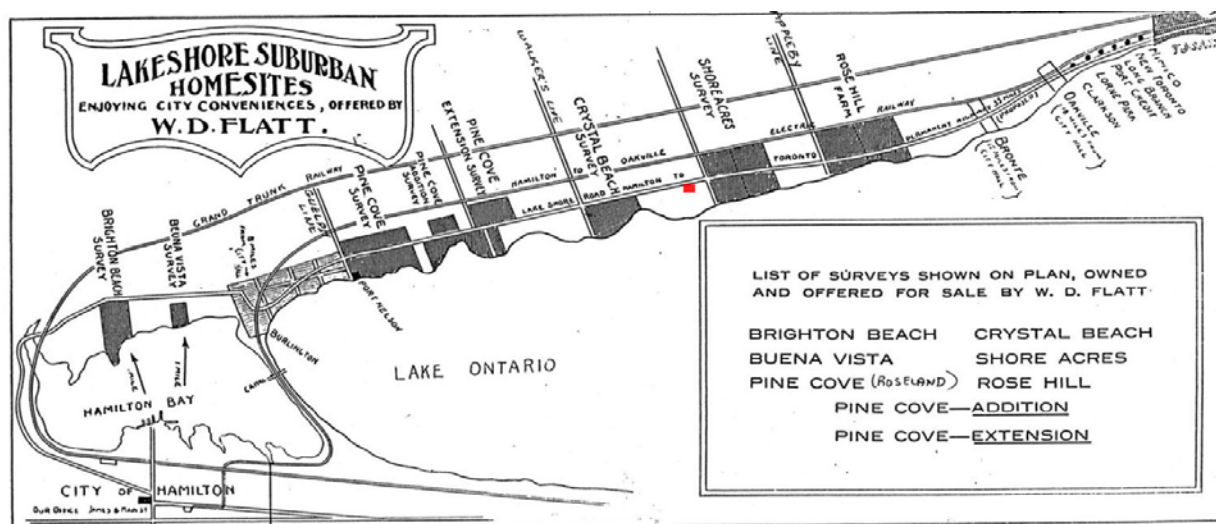


The site is located at the south-east corner of Inglewood Drive and Lakeshore Rd. To the east is Paletta Park, a major local cultural resource. To the north are Millennial “estate” type houses along Lakeshore

Rd. These would have replaced earlier, smaller homes on these properties. To the north of these is a modern residential subdivision. To the west of the site are the homes of the Inglewood Survey. This is a transitional community consisting of homes built in the 1920's mixed with mid-century designs and also some examples of recent demolition and infill.

Site History:

The north shore of Lake Ontario at Burlington was the subject of much development interest in the early 20th century, with local entrepreneurs capitalizing on the modern transportation methods then available and seeking to market these properties to the wealthy of Hamilton and Toronto. The most successful of these developers was W.D. Flatt who was responsible for many neighborhoods still recognizable today.



W.D. Flatt marketing material 1922. Subject site is shown in red

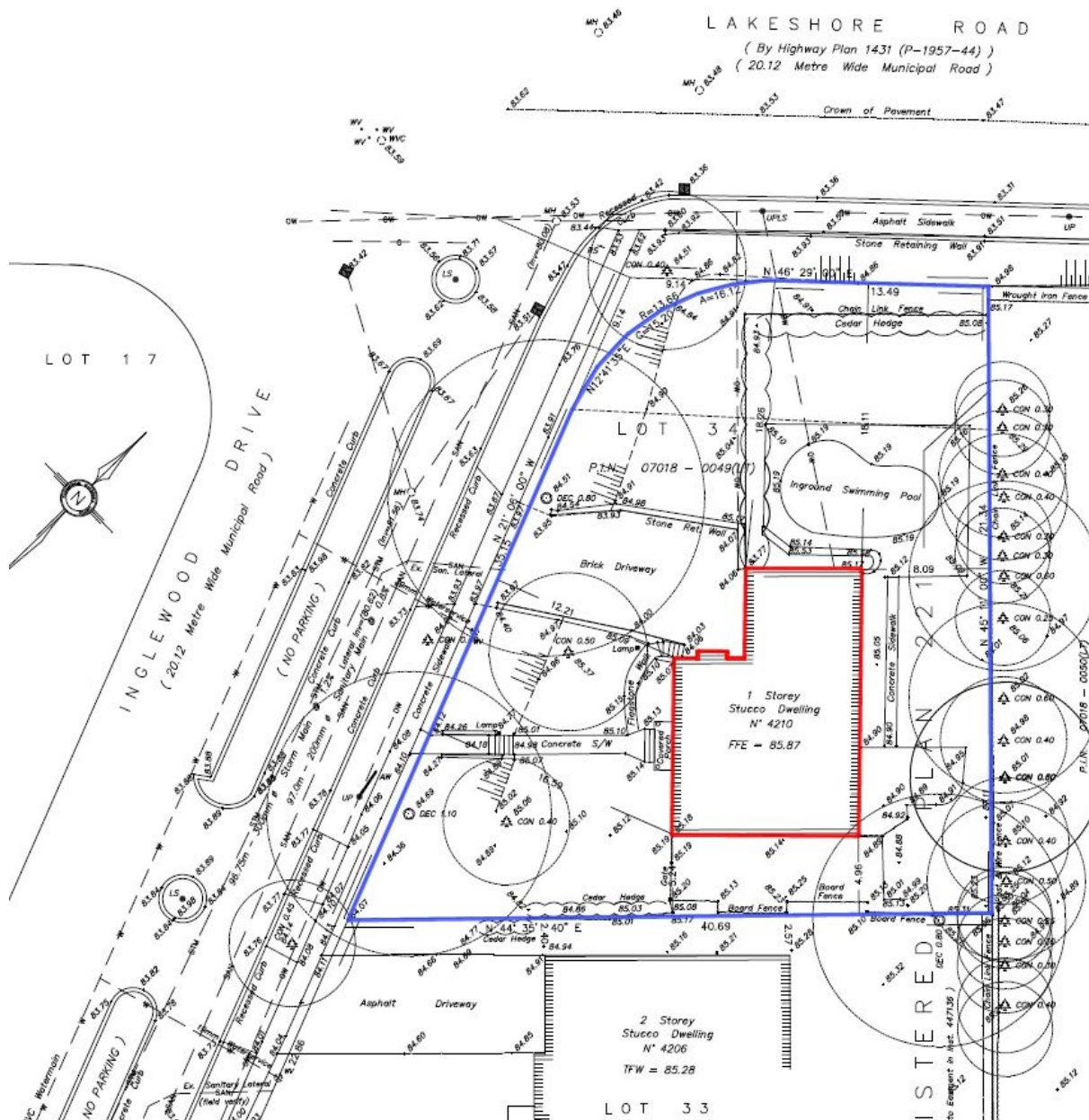
4210 Inglewood Drive is not one of the Flatt properties, however. It is part of the Inglewood Survey created by about 1925 by Irwin Proctor, who owned a farm east of the present Strathcona Drive.

Originally the lakeshore road had curved to follow the shore line of the lake. When the No. 2 Highway was paved and straightened after World War I, Proctor found himself with land running on either side of the highway. He opened up Belvenia Ave. in the middle of his farm, north of the highway. The land remained idle for some time until, about 1925, he opened a survey and offered lots, south of the highway, for sale. Inglewood Dr., curving around from the highway to the lake and back, was constructed. Two lots were sold and then the depression set in. One of the houses is the stucco home on the southeast corner of Inglewood and Lakeshore built by Mr. Proctor on speculation.¹

The stucco home described above is the present 4210 Inglewood Drive.

¹ Machan, Claire Emery, *From Pathway to Skyway Revisited*, p. 305

Existing conditions on-site:



Existing property survey

The subject property is irregular in shape and approx. 40m wide x 40m deep. The property is generally flat although located on elevated plateau approx. 1.0m above Inglewood Dr. and 1.5m above Lakeshore Rd. There are two buildings located on the site – a single family home approximately centered on the property and an older shed building at the south-east corner that may have formerly been a detached garage (note that this building does not appear on the survey). On the north an in-ground swimming pool buffers the house from Lakeshore Rd. The site is heavily treed along the easterly boundary and moderately treed elsewhere.

Architectural Assessment of Existing Building:

The existing building consists of an original 1 storey stucco clad dwelling with hip roof approximately 37' wide x 38' deep with a northerly addition approximately 19' wide x 24' deep (the addition is reported to have been construction circa 1961)². At the front of the building is a small covered porch with curving roof supported on round wood columns. There are two symmetrical gables in the roof on the north and south side such that from the front elevation the roof does not appear to be hipped. There is an older decorative concrete block foundation beneath the original home. The foundation was solid and somewhat damp when observed. There is a full un-finished basement beneath the rear part of the original home but a crawlspace only below the front portion. The original house consists of a living room, dining room, kitchen, bathroom and two bedrooms at the main floor level. The front bedroom has a small 2-piece ensuite bathroom that was likely added later. The addition is set five steps above the original floor level of the home. The addition consists of a family room and sunroom on the upper level and two car garage below. The overall condition of the building is good although clearly there has been some lack of maintenance recently. With the exception of the bathroom and kitchen, which have been renovated as would be typical for a building of this age, the building is very close to as-built condition. The building is presently vacant but most recently used as a single family dwelling.



Front Elevation

² City of Burlington designation statement



South Elevation. Former garage at right



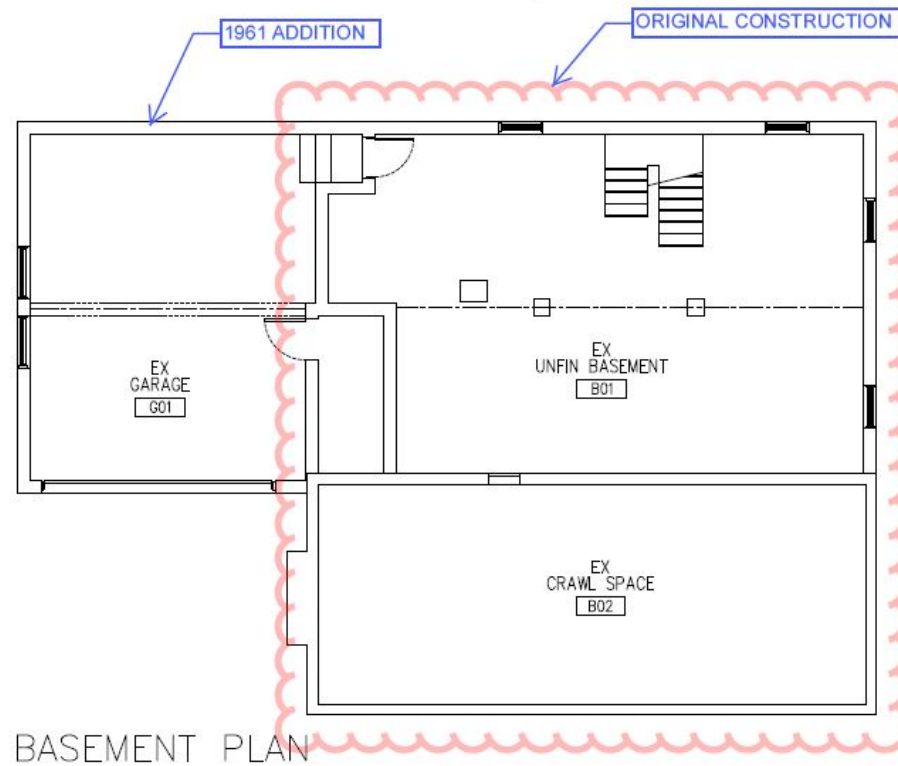
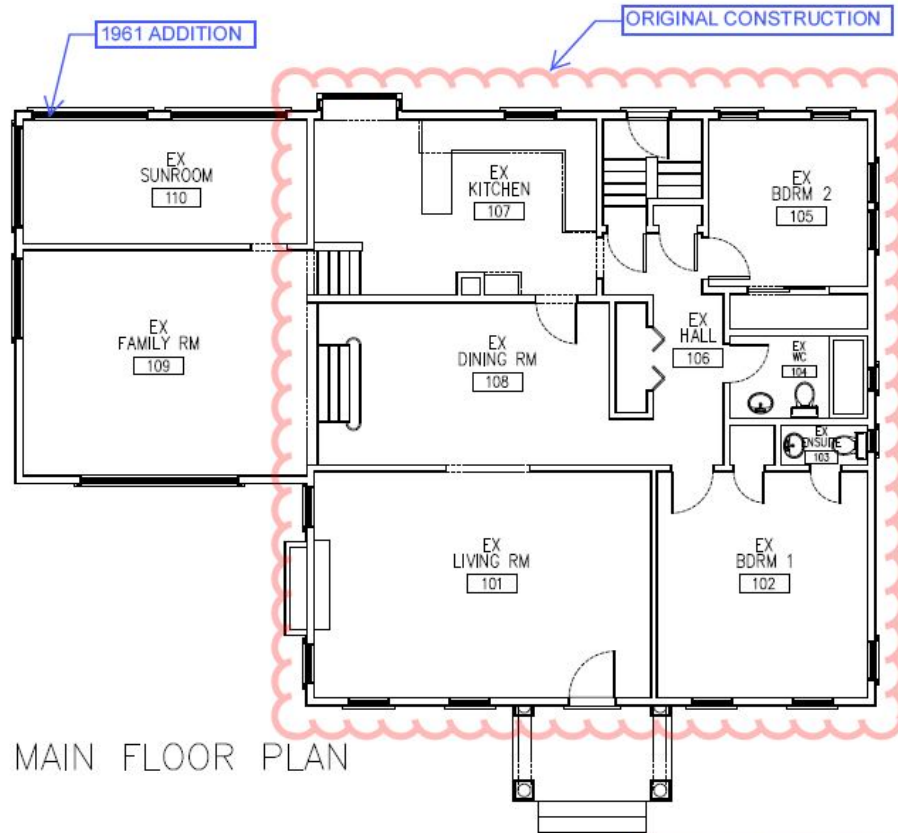
Rear Elevation. Original building at left, 1961 addition at right



North Elevation



North-west contextual view from Lakeshore Rd.



Schematic Plan



Typical building interior view. Dining Room looking toward Family Room



Unfinished Basement

Exterior:

The building is clad in white painted stucco. The stucco overhangs the foundation slightly. The stucco was inspected by chipping away an inconspicuous portion and this revealed a layer of expanded metal lath and older stucco below, so clearly the finish has been renewed at some time. The exterior is generally in good condition, with some minor cracking observed. Roof is asphalt shingle and in fair condition.

Northerly Addition:

The addition is a simple gable roofed form appended to the original building. It is generally unremarkable. On the front elevation there are ganged double hung windows centered on the garage door below. Windows elsewhere are a mix of traditional and more modern styles. There is an unusual projecting box bay at the rear. The addition took advantage of the existing grade conditions on site to create a basement garage level with the elevation of Inglewood Dr. The addition is generally in fair condition. There is minimal architectural or heritage value in this structure.

Windows and trims:

Main floor windows in the original building are for the most part original wood double hung single glazed units, some with later metal storms fitted on the exterior. The original windows appear to be in fair condition – although the sash cords are missing in most cases. There are unusual leaded glass panes in an Arts & Crafts pattern flanking the fireplace on the north elevation. These have been fitted with plexiglass sheets on the interior. All of the windows have simple painted wooden trims on the exterior. The face of these trims are very nearly flush with the stucco finish – a clear indication that the stucco has been renewed. These trims would typically be proud of the stucco finish.

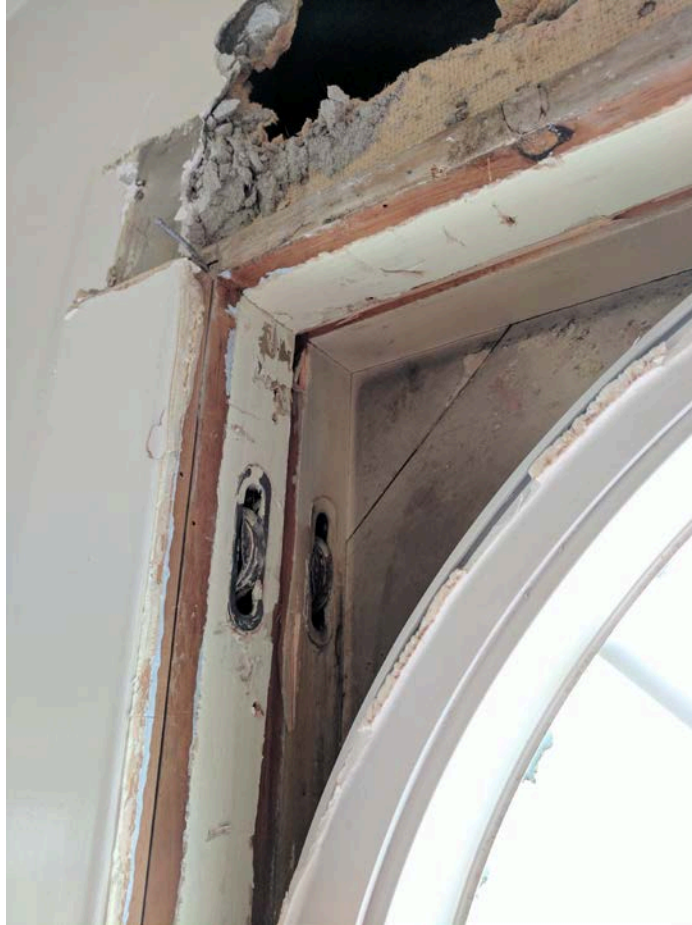


Typical window detail showing trim flush with stucco, original double hung sash, later metal storm

Across the front of the house are four round head windows. These are the only round windows in the building. Detailed examination of these windows reveals that they are not original to the building. They are vinyl thermal units with false muntins that have been set into older wooden rectangular frames. The interior trims are rectangular and match the trims in the rest of the house. As part of this investigation the interior trims of one of these windows was removed to reveal a painted, rectangular older frame. The location of the former sash, weights and rollers can be clearly seen. Likely these round head windows were installed contemporaneously with the stucco replacement because no evidence of the former square openings is visible from the exterior. The windows have a manufacturing date of 1992 visible on them. This gives us a good indication of the timing of this work.



Round head vinyl windows along front elevation



Interior detail of round head window showing older frame, pulleys

Front Door and Trim:

The existing front door is a newer four panel wood unit with a star-burst half-round glass motif above. Flanking the door from the exterior is an unusual trim made up of wooden shutter panels and above the door is a curved raised panel detail of unknown origin. The door, shutter panels and the curved detail are items that would typically have been available for purchase at lumber stores in the mid to late 20th century. They are not attractive and almost certainly not original to the building. The interior trimwork around the front door appears to be original. It is rectangular and implies over-sized rectangular sidelights and a rectangular transom. This was almost certainly the original detail.

Front Porch:

The front porch is a prominent feature of the building and is in fair condition. The wood detailing and trim around the columns and ceiling is remarkable by its simplicity and lack of embellishment. There is a surprising lack of craftsmanship here. There is a sagging in the porch roof which has caused the wood columns to splay outward. It could not be determined without further destructive investigation if the porch was original to the building or added later, however the fact that the curve of the porch roof is matching in radius to the arc above the front door, which is likely a later addition, creates some potential that the porch, too, was added later. The porch floor is painted concrete supported on a brick

foundation. This is the only brick foundation on the building and this lends credence to the possibility that it may have been added later, however the deterioration of the brick and of the concrete floor makes clear that this has been in place for a long time. It is also possible that the brick foundation and concrete floor may be older than the roof above.



Front porch, door and trim detail



Front door from interior. Trim gives likely indication of size and configuration of original transom and sidelights. Note rectangular trim on round head window at right

One interesting detail is that while the trims around the windows are nearly flush with the stucco finish, indicating that they were in place before the most recent coat of stucco was applied, at the top of the stucco wall there is a simple frieze consisting of a painted board with quarter-round moulding. This frieze is located on top of the stucco, indicating that it was placed there after the stucco application. This frieze is continuous around the entire home, except that under the curve of the porch roof there is only the quarter-round trim. The presence of this obviously later frieze trim is likely indicative that changes were made to the soffit contemporaneous to the stucco application and lends further support to the idea that the curving porch roof is not original.



Newer frieze detail. Note that this is mounted on top of stucco as compared to window trims

Eyebrow Dormers:

On the roof on the front elevation are two symmetrically placed eyebrow dormers. These appear to be rather undersized but they are quite prominent on the elevation. They are painted wood with a large aluminum flashing at the junction with the roof. Examination of this area from the attic space reveals that they are not original to the building. The holes to accommodate them were crudely cut and the framing material around them clearly does not match the remainder of the roof.



Eyebrow dormer



Eye brow dormer from attic. Note crude craftsmanship, dissimilar materials

Interior Trims and Finishes:

Interior trims and finishes are generally original and in good condition. The kitchen and bathroom has been replaced as would be expected in a building of this age. Trims are simple painted flat profiles without obvious detail, with architrave type trims at the doors and windows. This is all very typical of an Arts & Crafts aesthetic, which was popular at the time of original construction. Handrails, newels and balusters are painted metal which was typical at the time of the 1961 addition. The main floor fireplace is original and features interesting brick Arts & Crafts detailing.



Original brick fireplace

Landscaping and Driveway:

The existing landscaping on the site is pleasant but unremarkable. There is two car interlocking brick driveway that was created by cutting into the sloping front of the site. There is a stone retaining wall on both sides of this driveway. The driveway and these retaining walls are part of the 1961 addition. Prior to this the driveway was likely located on the south side of the property.³ Trees, some of significant size, are located randomly around the site and along the road allowance at the front of the property. There are minimal cultivated or manicured gardens.

Part IV Designation:

4150 Ingleside Drive was designated in 2007 under Part IV of the Ontario Heritage Act. The commentary associated with this designation notes as follows:

Design Value:

... the subject house is a split level, stucco clad bungalow with a central peaked hip extending a gable roof, a raised ground floor, and a decidedly axial layout that prevails on only the north and west elevations. The west (front) elevation is divided into 5 bays with each bay repeating a round headed motif. The segmental arch over the front door is repeated in the central portico. The four arched windows, the elevational symmetry, and the eyebrow roof vents give this house a unique pavilion-like appearance characteristic of garden or estate buildings of the Picturesque style. The house was constructed in 1925 while the mass to the north was added circa 1961.

... the most significant elements of the massing of the building are the stepped site, the raised ground floor level, the graduated flights of stairs, and the arched portico flanked by classical columns and crowned with the triangulated hip section of the roof. These elements lend a strong classical silhouette to the house. The round headed windows that flank the front door are matched on the north elevation with round headed tympana above the window openings. The most notable stylistic influences are a scaled-down Beaux-Arts classicism with massing more typical of a Regency cottage. As a whole, the building is an iteration of the Picturesque movement, particularly as it applied to garden or estate buildings. It should be noted that the architectural significance of this building is confined to the massing and elevational treatments of the house as visible from the north, west and south sides only.

The property has design value because it is a rare representative example of garden or estate buildings of the Picturesque style.

Contextual Value:

Like many of the other houses in the (Inglewood) Survey, the building at 4210 Inglewood Drive has siting and architectural character of its time ... as one of the gate-like houses on the elongated crescent, the subject house establishes a scale and ethos that continue throughout the original properties along Inglewood Drive ... the property has contextual value because it is important in defining and supporting the character of the street and because it is visually and historically linked to its surroundings.

³ The location of the garage/workshop is at the south-east corner of the property. There was likely a narrow driveway accessing this from Ingleside Dr.

Character-Defining Elements:

In architectural terms the design of the subject building can be classified as a sub-category of the Picturesque style known as garden or estate buildings. This manifestation shows attributes of a Regency cottage and of Beaux-Arts planning and design at a diminutive scale. Specifically the following are the elements that define the character at 4210 Inglewood Drive:

- **The stepped landscape with stonework graduating through successive flights of stairs to a raised ground floor plane;**
- **The projecting portico consisting of a delicate curved entablature supported on symmetrically set classical columns;**
- **The symmetry of the fenestration and rhythm established by the balanced composition of the west elevation and the repetition of round-headed windows, doors, architraves and tympana visible from the west and north elevations;**
- **The white-painted stucco finish;**
- **The hipped-gable roof with the symmetrically placed (blind) eyebrow dormers;**
- **The scale of the property provided by the massing of the house and the setbacks from the property lines to the building;**
- **The manner in which the house simultaneously reinforces the history of the lakeside estates and the conservative British ethos of the Inglewood Survey.**

Analysis:

It appears from correspondence at the time of the original designation that City of Burlington staff and their heritage consultant were allowed only limited time to closely inspect this building and because it was then inhabited, and because the then owner and their agent were not supportive of the designation, there were obvious limits to the extent of intrusive investigation that could be carried out. These circumstances have now changed and our more detailed investigation has brought facts to light that challenge some substantive aspects of the previous findings and of the designation.

The designation places great importance on the curved windows on the front elevation, curved front door and porch roof and curved eyebrow dormers to create references to the Picturesque and Beaux-Arts styles but it now appears that these are the result of much later renovations to the building. The fact that these renovations were done with very basic lumber-store type materials further diminishes their importance. There was very likely a significant loss of original craftsmanship when these changes were effected.

Rather than the conclusions expressed in the report, it is much more likely that 4210 Inglewood Drive began its life as a Regency Cottage, which is a handsome building type and very appropriate for its time of construction, but much less rare than the designation statement would imply.

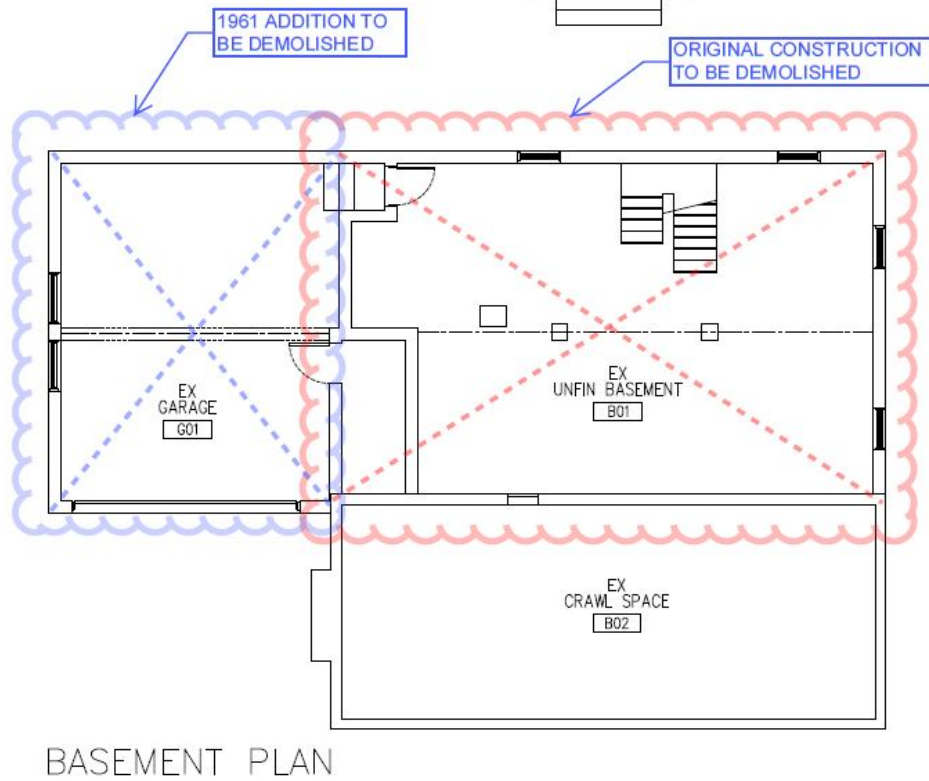
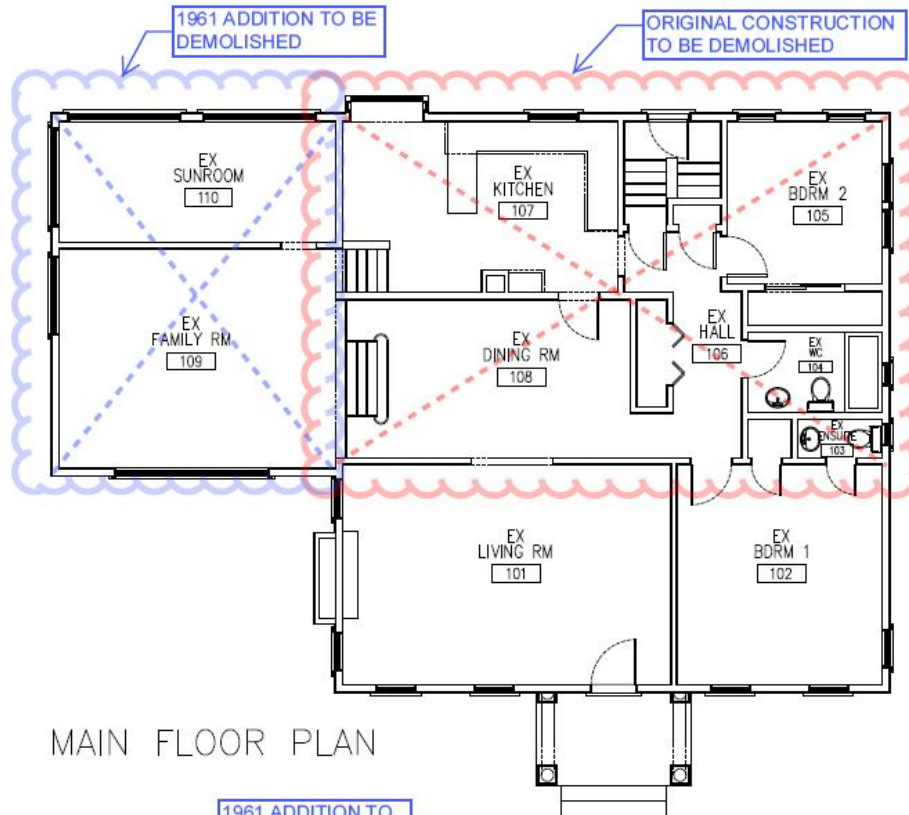
The other factors described in the designation – the general symmetry of the front elevation, the stepped landscape, the overall massing and form of the building – remain as factors supporting the designation.



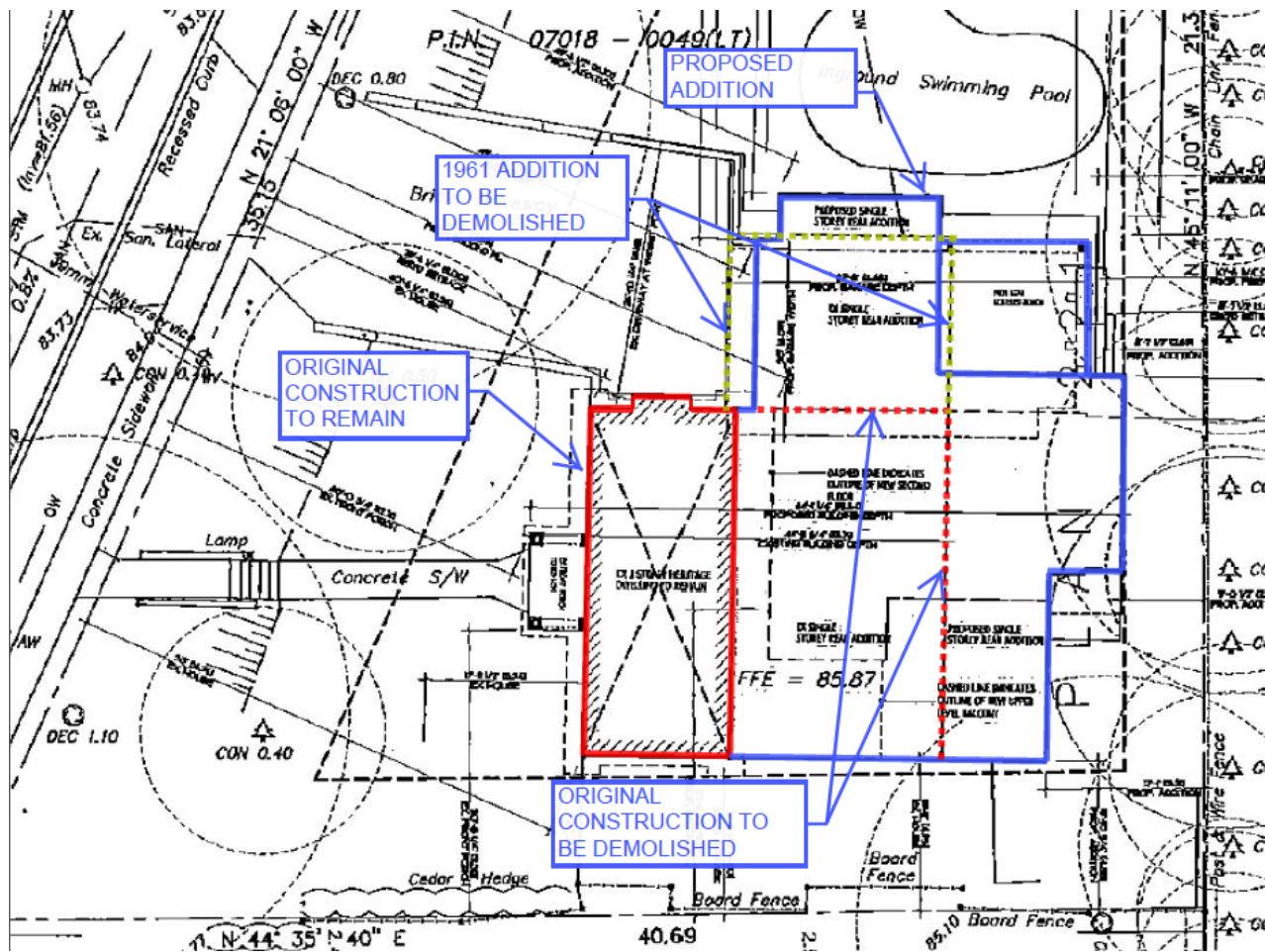
Good example of a Regency Cottage on Lakeshore Rd. E., Oakville

Proposal:

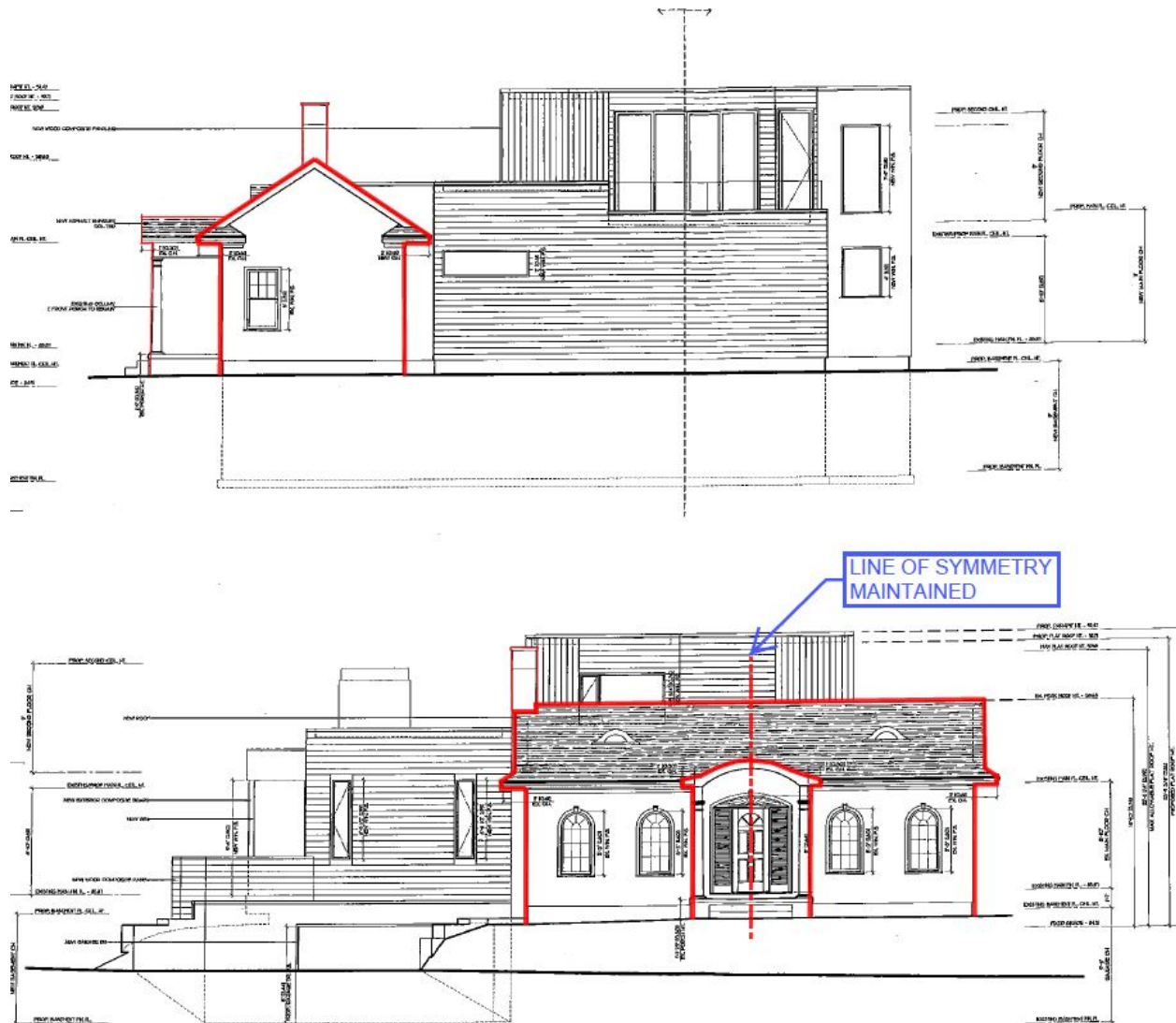
The proposal by Darren Sanger-Smith of Structured Creations Inc. involves the removal of the 1961 addition and removal of the rear 2/3rds of the original building and the creation of a new 1-storey addition with partial second storey.



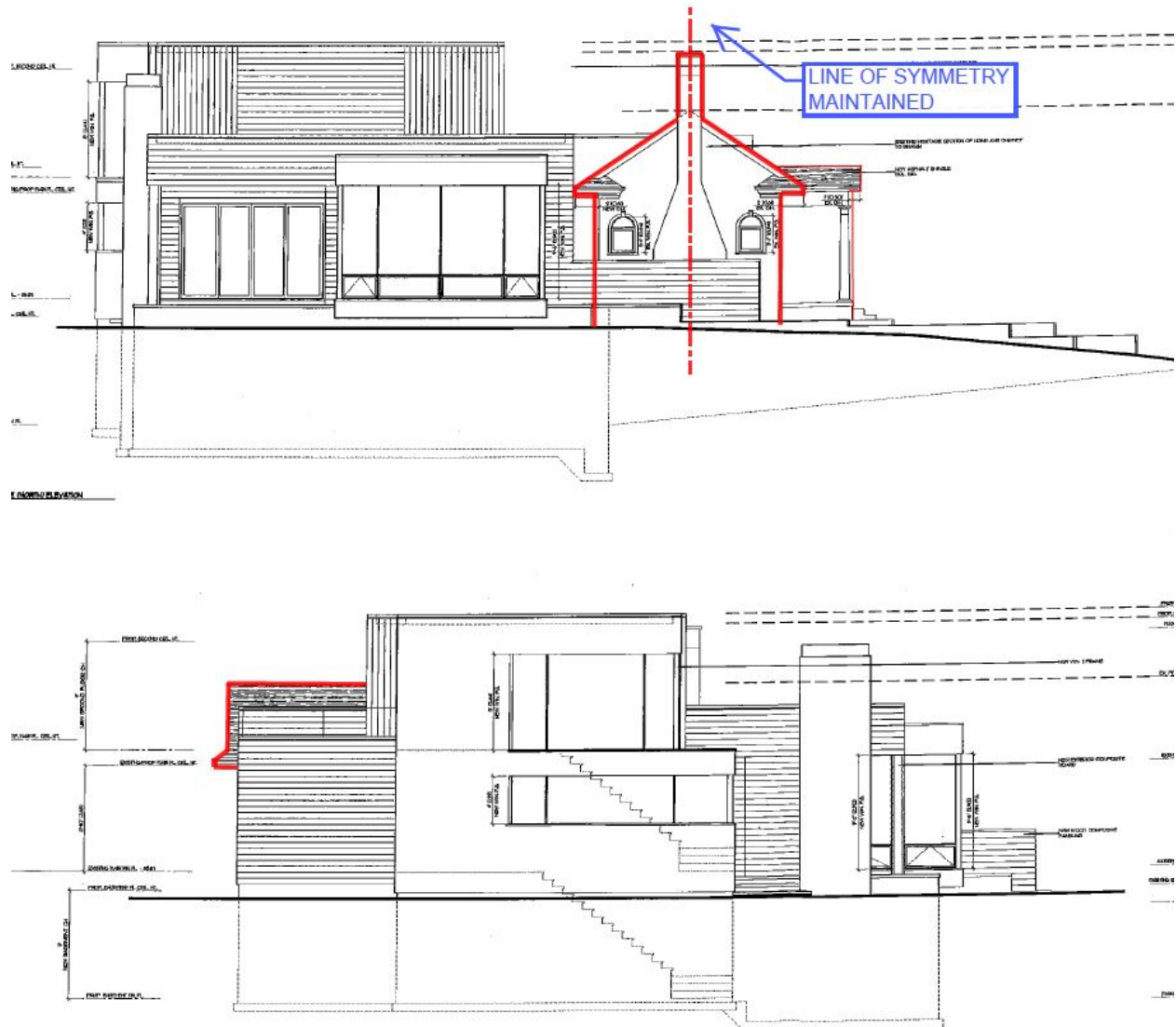
Demolition Plan



Site Plan schematic showing areas to be maintained, demolished, constructed



North and West elevations showing heritage building to be maintained



North and East elevations showing heritage building to be maintained

The proposed addition is contemporary in architectural character with tiering flat roofs, expansive windows and dark horizontal wood siding. It is highly asymmetrical but still balanced and complimentary to the heritage building.

The lines of symmetry on the north and west elevations noted in the Designation By-Law are maintained.

The proposed addition includes a new garage located in the same location as the existing garage but in order to align the existing and proposed floor levels, and to reduce the height of the addition, the garage is proposed to be located at a lower level than the existing. This will require rebuilding of the existing stone retaining walls flanking the driveway and changing the driveway slope, but the overall appearance of the garage and driveway will be similar to the existing.

Effect of the Proposal on Character Defining elements:

The effect of the proposal on the Character Defining elements, as identified in the Designation By-Law, are discussed below:

The stepped landscape with stonework graduating through successive flights of stairs to a raised ground floor plane;

This is proposed to be maintained.

The projecting portico consisting of a delicate curved entablature supported on symmetrically set classical columns;

This is proposed to be maintained, notwithstanding that investigation has revealed that these elements are likely not original to the building.

The symmetry of the fenestration and rhythm established by the balanced composition of the west elevation and the repetition of round-headed windows, doors, architraves and tympana visible from the west and north elevations;

This is proposed to be maintained, notwithstanding that investigation has revealed that these elements are likely not original to the building.

The white-painted stucco finish;

This is proposed to be maintained

The hipped-gable roof with the symmetrically placed (blind) eyebrow dormers;

The rear of the existing roof will be removed and the existing roof will be re-configured from a hip configuration with small gables at the north-west and south-west corners of the building to a smaller gable roof with north-south ridge. Notwithstanding this change the overall appearance of the building when viewed from the north and west elevations (as identified in the Designation By-Law) will be little different. The 1961 addition obscures the original hip roof and creates a north facing gable which is of itself not sympathetic to the original design. The eyebrow dormers

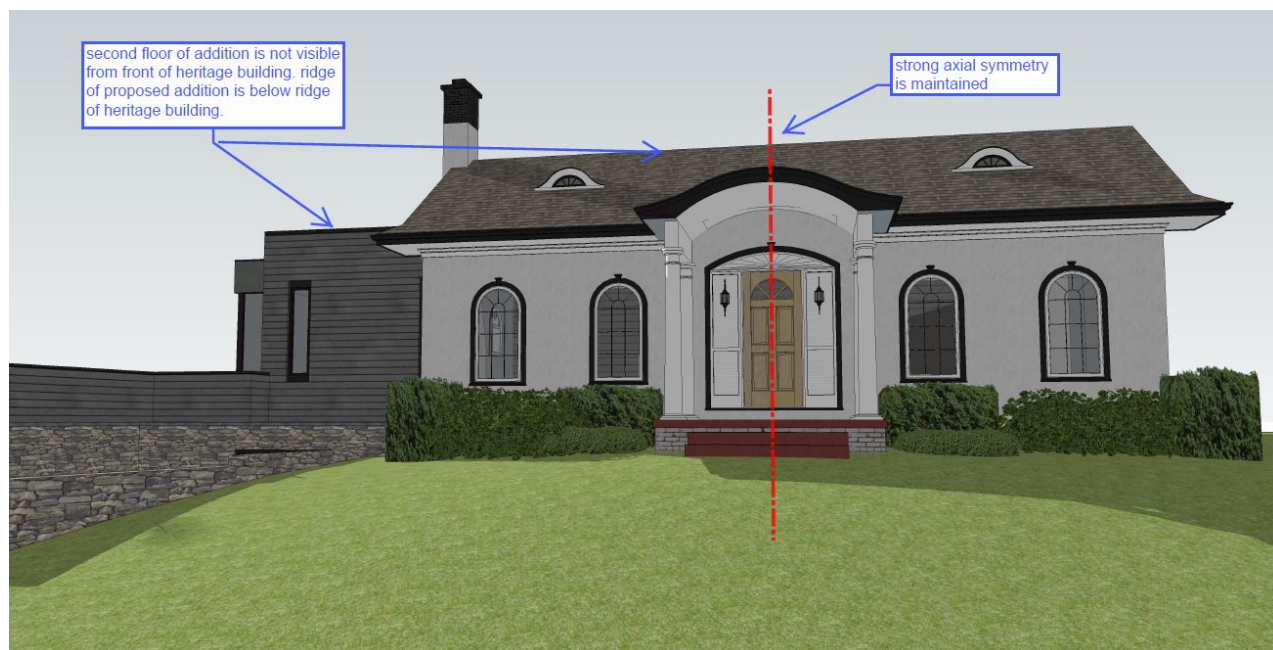
will remain, notwithstanding that investigation has revealed that these were likely not original to the building

The scale of the property provided by the massing of the house and the setbacks from the property lines to the building;

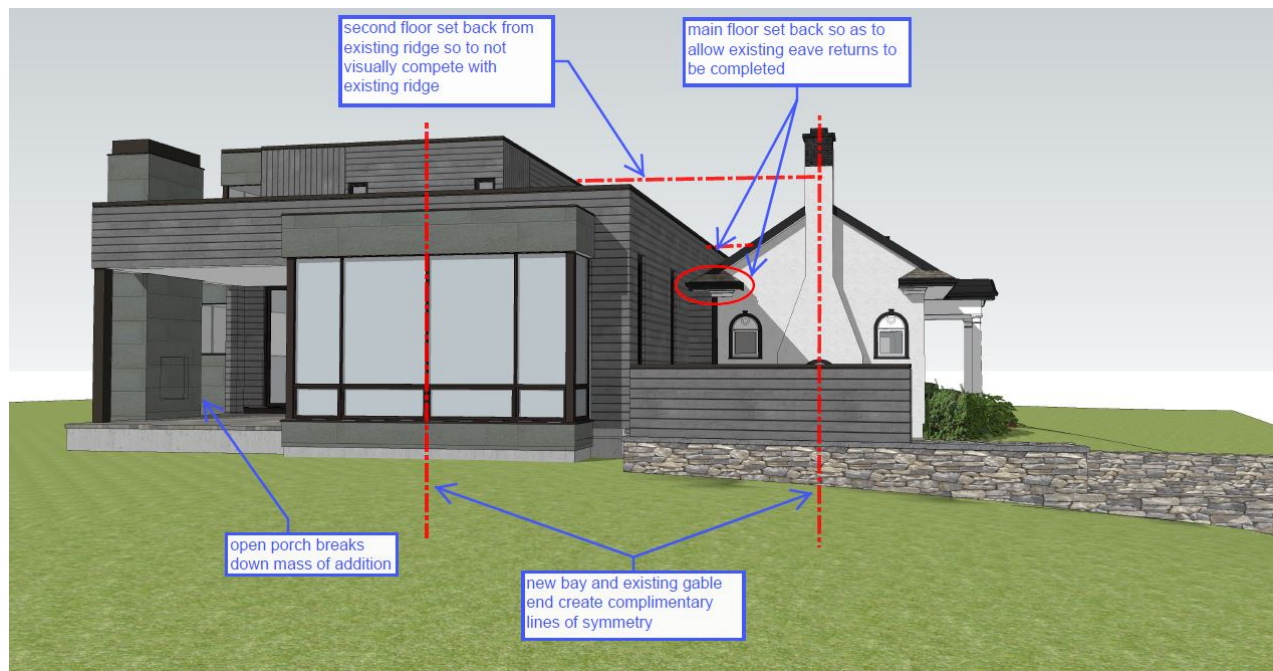
The setbacks from the north, west and south property lines will not change significantly. The massing on the north and west elevations will change but not in a significant way as regards the present views toward the heritage building. The massing from the south elevation will change significantly but this elevation is largely obscured from the public realm. The rear yard setback and the massing of the east elevation will change significantly but the Designation By-Law anticipates an addition here and excludes this elevation from Designation.

The manner in which the house simultaneously reinforces the history of the lakeside estates and the conservative British ethos of the Inglewood Survey.

This statement is somewhat questionable given the results of the investigation undertaken in this report, however the significant architectural elements that contributed to this statement are proposed to be retained and the “gatehouse” like massing and situation of the building will be retained.



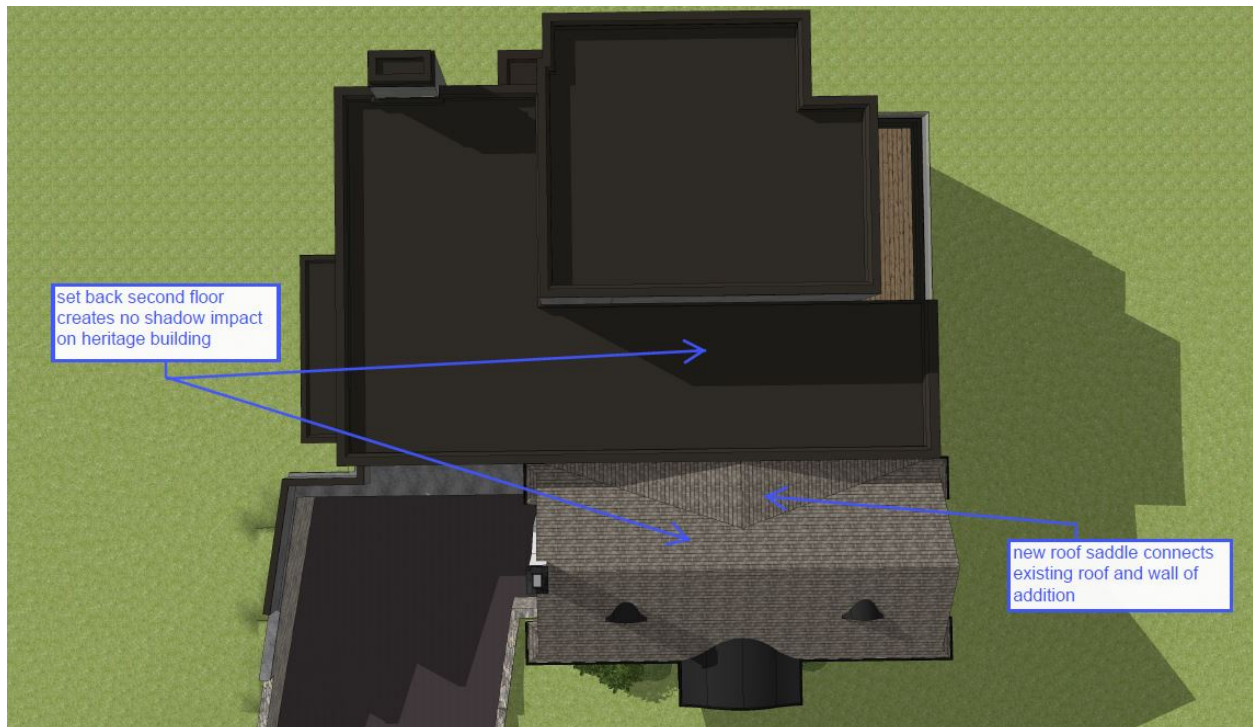
Proposed west elevation



Proposed north elevation



Proposed north-west oblique view



Proposed roof plan

Conservation Principles⁴:

Respect for documentary evidence: no conservation work or restoration of the existing building fabric based on documentary evidence is proposed.

Respect for the original location: no re-location of the heritage resource is proposed.

Respect for historic material: no repair or replacement of historic material is proposed.

Respect for original fabric: loss of original materials is proposed but these are on less conspicuous parts of the building and generally excluded from the Designation By-Law.

Reversibility: the scope of the work is such that reversibility is not an option.

Legibility: the proposed addition is demonstrably different from the original heritage building.

Maintenance: the proposed use makes the likelihood of regular future maintenance very high.

Alternative Design Options:

The project scope, municipal zoning requirements and the requirements of the Designation By-Law combined to mandate an intervention of the size and massing presented here. Early on in the design process it was decided that the best way to give appropriate consideration to the heritage building was to contrast it with an addition that was contemporary in nature. The design went through a number of revisions to develop the massing and detailing but this developed in a linear fashion and no alternative design options were simultaneously presented.

Summary Statement and Conservation Recommendations:

The existing building at 4210 Inglewood Dr. has a charming appearance despite being much changed from its original construction. Despite being atypical of the majority of buildings in the Inglewood Survey it does have a certain presence by virtue of its siting and generous setbacks.

The building is associated with Irwin Proctor who was of some local importance but this gentleman was a land developer and a number of properties and streets are similarly associated with him. This building was a commercial venture for him. There is no evidence that this was ever his residence.

The proposed renovations to the building are significant and will change its appearance from the street, however the renovations have been designed to respect the identified Character Defining elements of the building. This proposal should be seen as an evolution and renewal of this building and a way that the most significant aspects of the building and site will be protected and given the opportunity to mature.

The work should be able to be carried out using qualified, local trades. There are no specific conservation skills or methods required here.

⁴ Ontario Heritage Trust: "Eight Guiding Principles in the Conservation of Heritage Properties"

The proposed renovated dwelling at 4210 Inglewood Dr. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design.

Bibliography:

Machan, Claire Emery, *From Pathway to Skyway Revisited: the story of Burlington*, 1997

City of Burlington – website and mapping resources

Burlington Historical Society – digital collections

Other websites: as noted