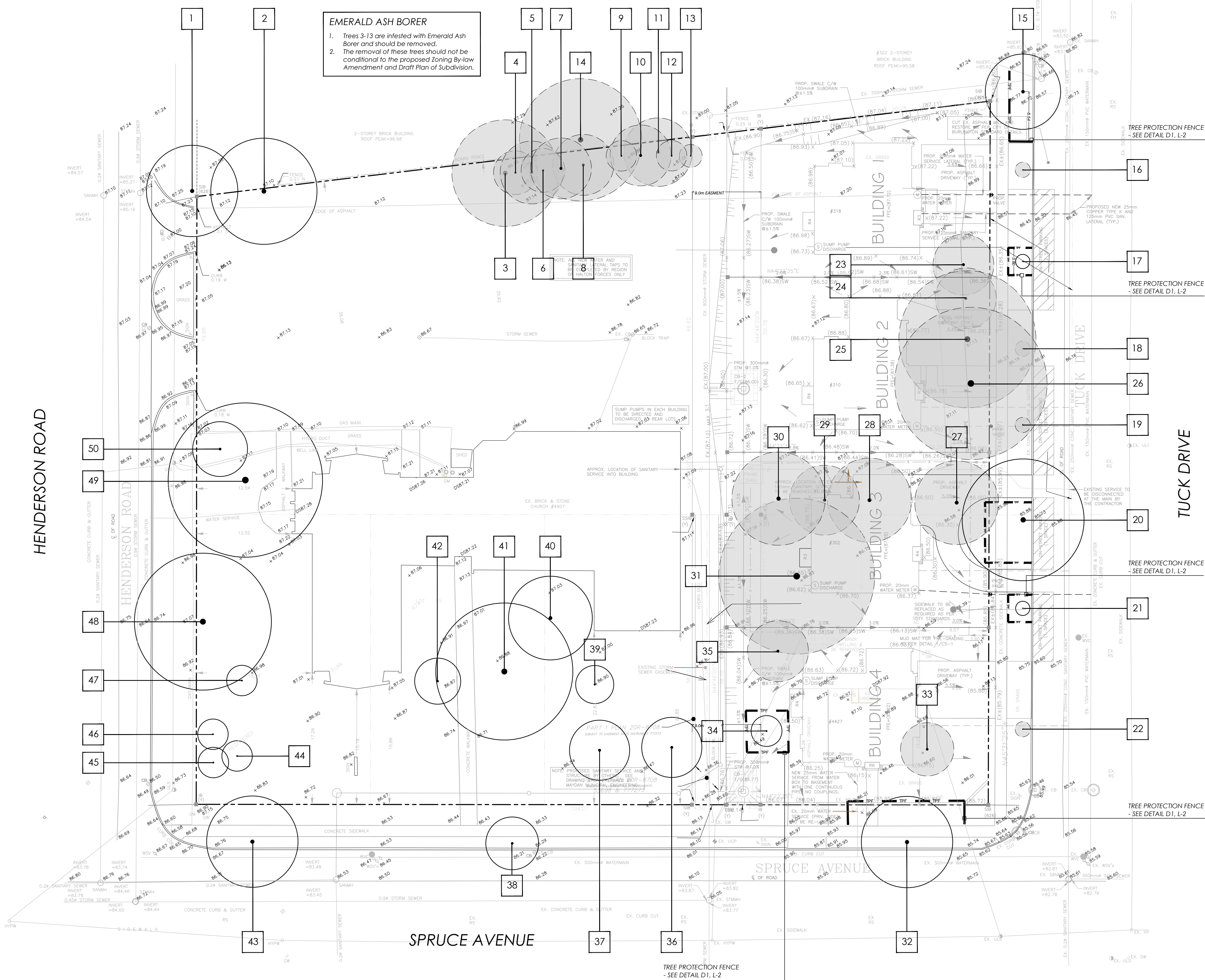
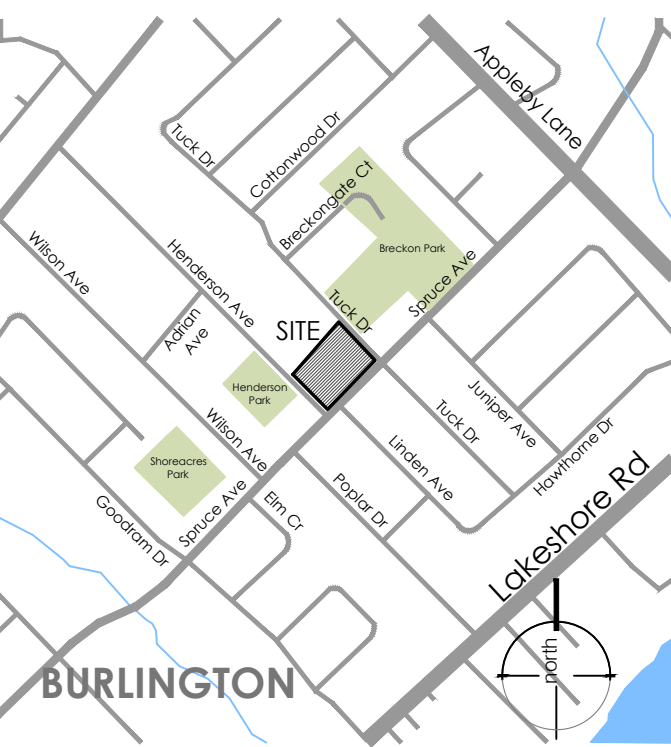




Appendix D of Report RPF-04-21

KEY MAP - N.T.S.



LEGEND

- property line
- lot lines
- 2 existing tree number (refer to chart)
- existing vegetation to remain
- existing vegetation to be removed
- +87.08 existing elevations
- x (85.95) proposed elevations
- TPF — tree protection fence - see detail D1, L-2

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NOTE:
Vegetation inventory undertaken by Nate Torenvliet,
ISA Certified Arborist (ON-1782A) on December 15,
2017.

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Zarin Homes
MUNICIPALITY
City of Burlington

PROJECT
4417 Spruce Avenue

MUNICIPAL FILE NUMBER
510-02/18 (24T-18002/B)

SHEET
Vegetation
Management Plan

L-1

adesso design inc.
landscape architecture



218 Locke Street South, 2nd Floor
Hamilton, ON L8P 4B4
t: 905.526.8876
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REE/JUNIT NO.	SPECIES (COMMON NAME)	SPECIES (BOTANICAL NAME)	DBH (cm)	CROWN CLASS*	CONDITION*	VEGETATION VALUE & PHYSICAL CONSTRAINTS	POTENTIAL IMPACTS FROM CONSTRUCTION	OWNERSHIP	RECOMMENDATION
1	Siberian Elm	Ulmus pumila	multi	D	Fair	Off property	None	Private	SAVE
2	Siberian Elm	Ulmus pumila	multi	D	Fair	Not surveyed	None	Private	SAVE
3	White Ash	Fraxinus americana	40	C	Poor	EAB infested	None	Private	REMOVE
4	White Ash	Fraxinus americana	15	S	Poor	EAB infested	None	Private	REMOVE
5	White Ash	Fraxinus americana	35	C	Poor	EAB infested	None	Private	REMOVE
6	White Ash	Fraxinus americana	30	C	Poor	EAB infested	None	Private	REMOVE
7	White Ash	Fraxinus americana	30	C	Poor	EAB infested	None	Private	REMOVE
8	White Ash	Fraxinus americana	25	C	Poor	EAB infested	None	Private	REMOVE
9	White Ash	Fraxinus americana	15	S	Poor	EAB infested	None	Private	REMOVE
10	White Ash	Fraxinus americana	30	C	Poor	EAB infested	None	Private	REMOVE
11	White Ash	Fraxinus americana	30,30	C	Poor	EAB infested	None	Private	REMOVE
12	White Ash	Fraxinus americana	20	C	Poor	EAB infested	None	Private	REMOVE
13	White Ash	Fraxinus americana	15	C	Poor	EAB infested	None	Private	REMOVE
14	Black Locust	Robinia pseudoacacia	60	C	Good	Off property	None	Public	SAVE
15	Norway Maple	Acer platanoides	46	D	Good	Off property	None	Public	SAVE
16	Gallerly Pear	Pyrus calleryana	6	D	Good	Off property	Conflict with proposed driveway	Public	REMOVE
17	Gallerly Pear	Pyrus calleryana	6	D	Good	Not surveyed; off property	None	Public	SAVE
18	Gallerly Pear	Pyrus calleryana	6	D	Good	Not surveyed; off property	Conflict with proposed driveway	Public	REMOVE
19	Gallerly Pear	Pyrus calleryana	6	D	Good	Not surveyed; off property	Conflict with proposed service lateral	Public	REMOVE
20	Norway Maple	Acer platanoides	44	D	Good	Off property	Some grading within root zone	Public	SAVE
21	Gallerly Pear	Pyrus calleryana	6	D	Good	Not surveyed; off property	None	Public	SAVE
22	Gallerly Pear	Pyrus calleryana	6	D	Good	Not surveyed; off property	Conflict with proposed service lateral	Public	REMOVE
23	White Ash	Fraxinus americana	50	C	Poor	EAB infested	None	Private	REMOVE
24	White Ash	Fraxinus americana	40	C	Poor	EAB infested	None	Private	REMOVE
25	Siberian Elm	Ulmus pumila	80	C	Fair	Some dieback in the canopy	Conflict with proposed driveway	Private	REMOVE
26	Manitoba Maple	Acer platanoides	40	C	Fair	Wide spread form	Conflict with proposed sidewalk	Private	REMOVE
27	Norway Maple	Acer platanoides	50	C	Fair	Some dieback in canopy	Conflict with proposed driveway	Private	REMOVE
28	Norway Maple	Acer platanoides	50	C	Poor	Some dieback in canopy	Grading in root zone due to proposed building	Private	REMOVE
29	Norway Maple	Acer platanoides	35	C	Poor	Dead	Grading in root zone due to proposed building	Private	REMOVE
30	Norway Maple	Acer platanoides	55	C	Fair		Grading in root zone due to proposed building	Private	REMOVE
31	Honey Locust	Gleditsia tricanthos	60	C	Good		Grading in root zone due to proposed building	Private	REMOVE
32	Honey Locust	Gleditsia tricanthos	45	D	Good	Off property	None	Private	SAVE
33	Colorado Spruce	Picea pungens	40	D	Good		Grading in root zone due to proposed building	Private	REMOVE
34	Crab Apple	Malus sp.	20	D	Fair		Minimal grading in root zone	Private	SAVE
35	White Spruce	Picea glauca	30	C	Good	Not surveyed	Grading in root zone due to proposed building	Private	REMOVE
36	Colorado Spruce	Picea pungens	55	D	Good		None	Private	SAVE
37	Colorado Spruce	Picea pungens	60	D	Good		None	Private	SAVE
38	Norway Maple	Acer platanoides	25	D	Good	Off property	None	Private	SAVE
39	Crab Apple	Malus sp.	25	D	Fair	Some dieback in canopy	None	Private	SAVE
40	Honey Locust	Gleditsia tricanthos	35	C	Good		None	Private	SAVE
41	Honey Locust	Gleditsia tricanthos	60	C	Fair		None	Private	SAVE
42	Crab Apple	Malus sp.	25	D	Fair		None	Private	SAVE
43	Honey Locust	Gleditsia tricanthos	40	D	Good	Off property	None	Private	SAVE
44	Crab Apple	Malus sp.	30	C	Good		None	Private	SAVE
45	Crab Apple	Malus sp.	25	C	Good		None	Private	SAVE
46	Crab Apple	Malus sp.	25	C	Good		None	Private	SAVE
47	Crab Apple	Malus sp.	25	D	Good		None	Private	SAVE
48	Honey Locust	Gleditsia tricanthos	55	D	Good		None	Private	SAVE
49	Norway Maple	Acer platanoides	60	C	Fair		None	Private	SAVE
50	White Birch	Betula papyrifera	35	C	Poor		None	Private	SAVE

* **CONDITION** - consideration of trunk integrity, crown structure and crown vigor
 Good - few or no issues related to trunk integrity, crown structure or crown vigor
 Fair - minor issues related to trunk integrity, crown structure (form, some dead or damaged branches) or crown vigor (20-80% healthy foliage)
 Poor - issues with trunk integrity such as cavities or exposed dead wood, poor crown structure (poor form, no clear leader, significant dead or damaged branches) or poor crown vigor (<20% healthy foliage)

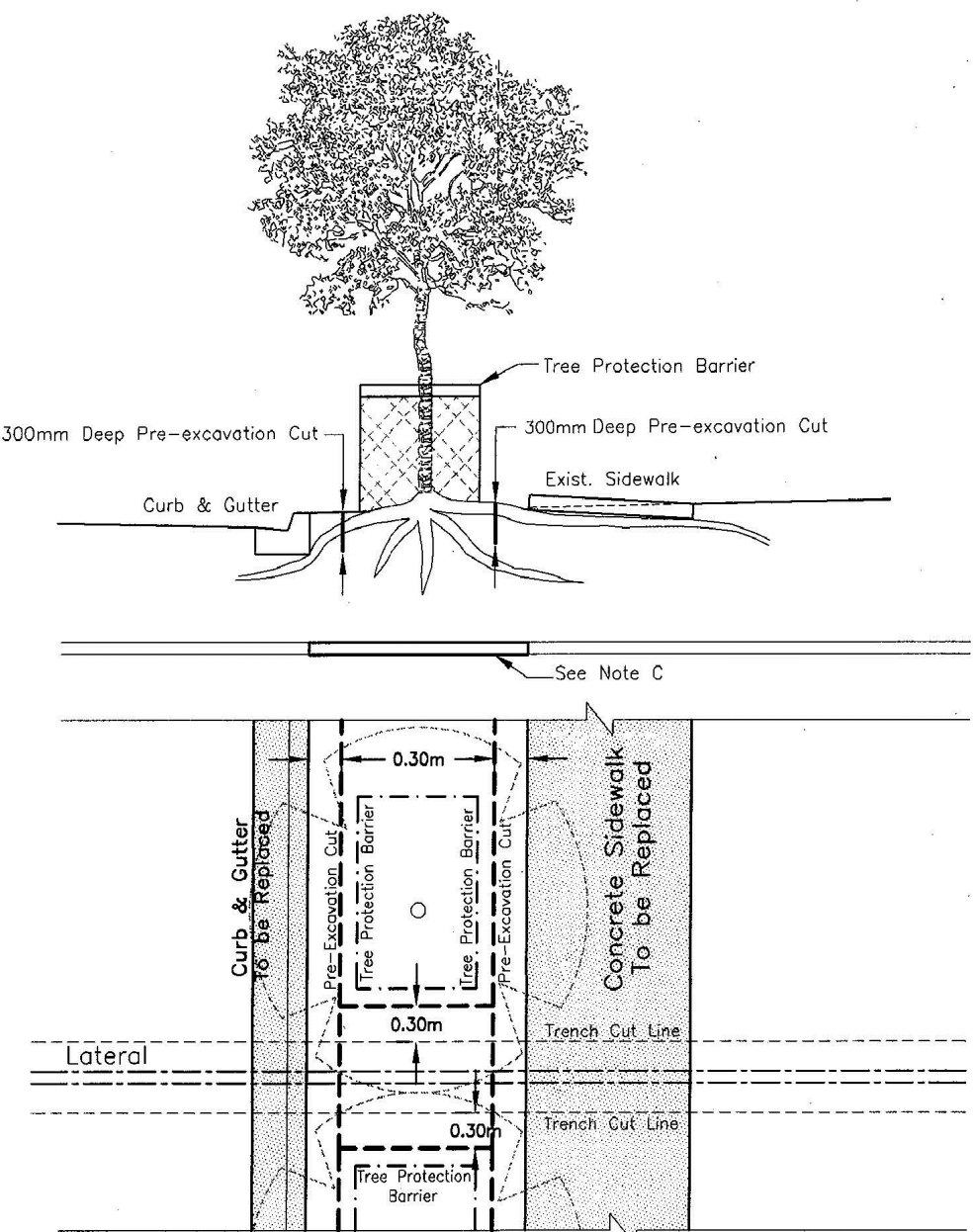
1. The Owner and Contractor must be aware of the Ontario Forestry Act, 1990 - specifically;
Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act, 1998, c. 18, Sched. I, s. 21.

- I. The Owner and Contractor must be aware of the Migratory Birds Convention Act, 1994 - specifically;
 - No free removal or construction activity shall contravene the Act.
 - Construction activities with the potential to harm migratory birds or their nest should be restricted from April 1 to July 31.
 - Work must occur during the migratory bird breeding season, a nest survey should be conducted by a qualified avian biologist.
 - A mitigation plan (showing active nests and appropriate buffers) may be required for review and approval by the Canadian Wildlife Services.

1. The area within the dripline of all existing trees shall be properly protected with temporary fencing.
2. The area within the protective fencing shall remain undisturbed with no construction activity, grade changes, surface treatment, grading, or excavation. No equipment shall be used for the storage of building materials or equipment access/storage or project related garbage.
3. Tree protection measures shall be installed prior to any demolition, tree removal or construction and shall remain until the completion of line grading and sodding or seeding.
4. Prune all trees for dead, diseased, weak or hazardous branches only; also firm back branches which will interfere with construction. Prune limbs and branches to a minimum of 1/4" diameter.
5. No stockpiles and/or excavated material shall be placed within the tree preservation area.
6. No rigid coping shall be wrapped around or installed to trees.
7. When limbs of protected trees are exposed directly adjacent to or damaged by construction work they are to be pruned and the area back filled with topsoil to prevent root dissection.
8. Any line grading within the preservation area is to be done by hand. No heavy equipment is to be used for grading.
9. Sediment accumulations to be removed by subdivider/builder when sediment deposits reach within 150mm of top of filter fabric barrier.
10. A copy of the approved and signed Vegetation Management Plan with the site for the duration of construction and available upon request.



1. Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m high and consist of orange plastic web snow fencing on a wood frame of 2 x 4"s, supported on metal "T" bars, 2.0m apart. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing shall be used.
2. Where some excavate or fill has to be temporarily located near a tree protection barrier plywood must be used to ensure no material enters the Tree Protection Zone.
3. All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
4. No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



NOTE:
For excavations perpendicular to the curbing (ie. curbing, sidewalk, water or sewer laterals renewal)

- a) when the open cut is within the Critical Root Zone of a tree, the contractor is to pre-cut the earth 300mm wider than the specified trench width to a depth of 300mm.
- b) the contractor is to use a trench box to minimize the width of the open cut.
- c) when the lateral replacement is within the Tree Protection Zone of a tree, the contractor is to complete the works using trenchless technologies.

Tree Protection (City of Burlington Std. Dwgs.)

SCALE: NT:

1
L-2

NOTE:
Vegetation inventory undertaken by Nate Torenvliet,
SA Certified Arborist (ON-1782A) on December 15,
2017.

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City of Burlington

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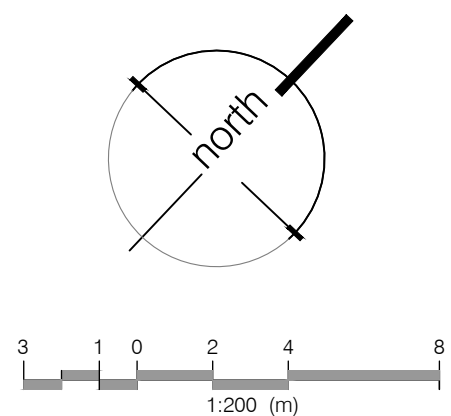
SHEET

Vegetation Inventory and Details

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landscape architecture



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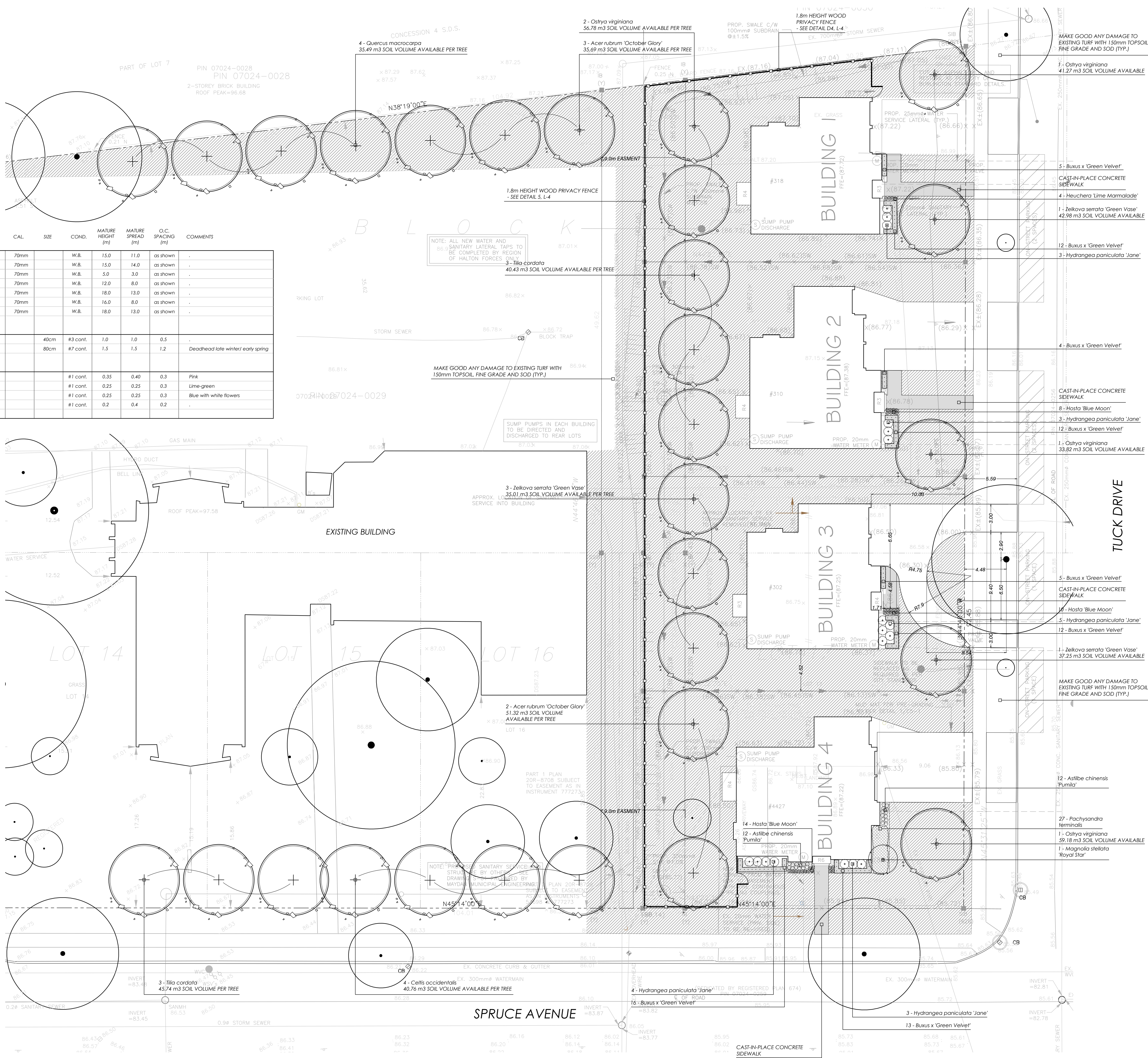


PLANT LIST

QNTY.	BOTANICAL NAME TREES	COMMON NAME	CAL.	SIZE	COND.	MATURE HEIGHT (m)	MATURE SPREAD (m)	O.C. SPACING (m)	COMMENTS
5	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	70mm		W.B.	15.0	11.0	as shown	-
4	<i>Celtis occidentalis</i>	Common Hackberry	70mm		W.B.	15.0	14.0	as shown	-
1	<i>Magnolia stellata</i> 'Royal Star'	Royal Star Magnolia	70mm		W.B.	5.0	3.0	as shown	-
5	<i>Ostrya virginiana</i>	Ironwood	70mm		W.B.	12.0	8.0	as shown	-
4	<i>Quercus macrocarpa</i>	Bur Oak	70mm		W.B.	18.0	13.0	as shown	-
6	<i>Tilia cordata</i>	Little Leaf Linden	70mm		W.B.	16.0	8.0	as shown	-
5	<i>Zeikova serrata</i> 'Green Vase'	Green Vase Zeikova	70mm		W.B.	18.0	13.0	as shown	-
SHRUBS									
79	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	40cm		#3 cont.	1.0	1.0	0.5	-
18	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Hydrangea	80cm		#7 cont.	1.5	1.5	1.2	Deadhead late winter/ early spring
PERENNIALS/ GRASSES									
24	<i>Astilbe chinensis</i> 'Pumila'	Chinese Astilbe			#1 cont.	0.35	0.40	0.3	Pink
4	<i>Heuchera</i> 'Lime Marmalade'	Lime Marmalade Coral Bell			#1 cont.	0.25	0.25	0.3	Lime-green
32	<i>Hosta</i> 'Blue Moon'	Blue Moon Hosta			#1 cont.	0.25	0.25	0.3	Blue with white flowers
27	<i>Pachysandra terminalis</i>	Japanese Spurge			#1 cont.	0.2	0.4	0.2	-

LANDSCAPE NOTES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
- Complete all work to the satisfaction of the Landscape Architect.
- Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
- It is the contractor's responsibility to determine existing service locations.
- Exact locations of plant material will be determined by placement of site services such as hydro vaults, meters, utilities rain water leaders, driveways, light standards, etc.
- All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
- Supply all plant material in accordance with the Canadian Standards for Nursery Stock (B.H.ed.).
- Install plant material according to details shown.
- Disturbed soil areas around trees and shrubs are to be covered with shredded conifer bark mulch such as 'Canada Red' or 'Gro-Bark' mulch, or approved equivalent. Alternative mulches must be approved by the Landscape Architect.
- Contractor to utilize layout dimensions where provided.
- Provide planting bed area as noted on the drawing or to accommodate mature size of plant material.
- All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
- Supply and place topsoil in accordance with OPSS 570 to a minimum depth of 150mm unless otherwise specified.
- Supply and place seed in accordance with OPSS 572 unless otherwise specified. All 5:1 or greater slopes to be seeded with facier.
- Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
- All dimensions in meters unless otherwise noted.
- If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
- Contractor to provide minimum two (2) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
- Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
- Not for construction unless stamped, signed and dated by Landscape Architect.
- Drawings not to be reproduced without written consent from Landscape Architect.
- Approval of landscape plan to be obtained from municipality.
- All plant material to be planted a minimum of 1.0m from any swales or ditches.
- For grading and servicing information refer to the consulting Engineer's drawings.
- For lighting information and power distribution refer to the electrical consultant's drawings.



KEY MAP - N.T.S.



LEGEND

- property line
- existing tree
- ⊕ proposed deciduous tree
- proposed shrub
- ⊕ proposed perennial
- Ex. (86.90) existing elevation
- (85.95) proposed elevation
- min. 150mm topsoil, fine grade & sod
- C.I.P. concrete

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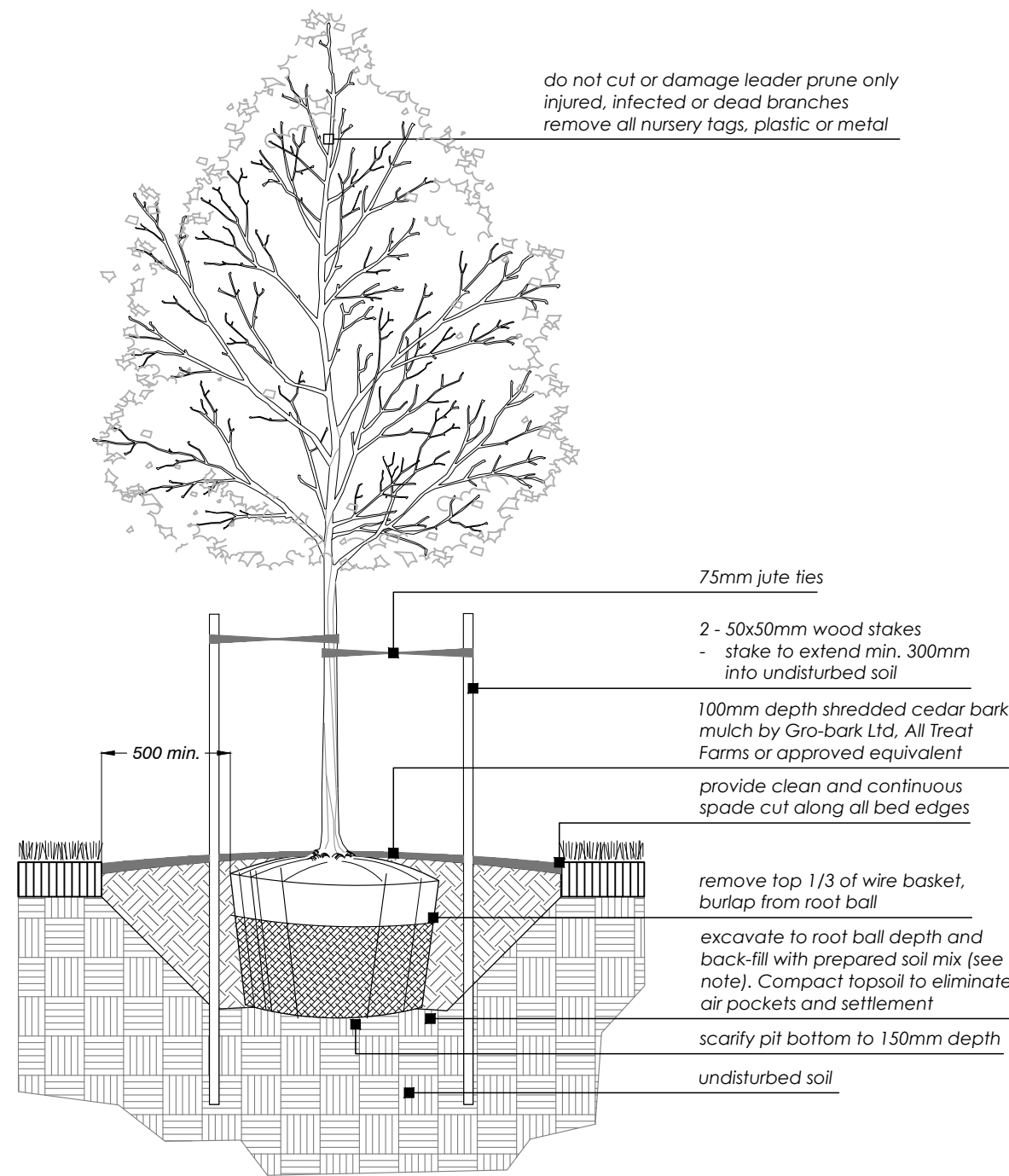
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Landscape Plan

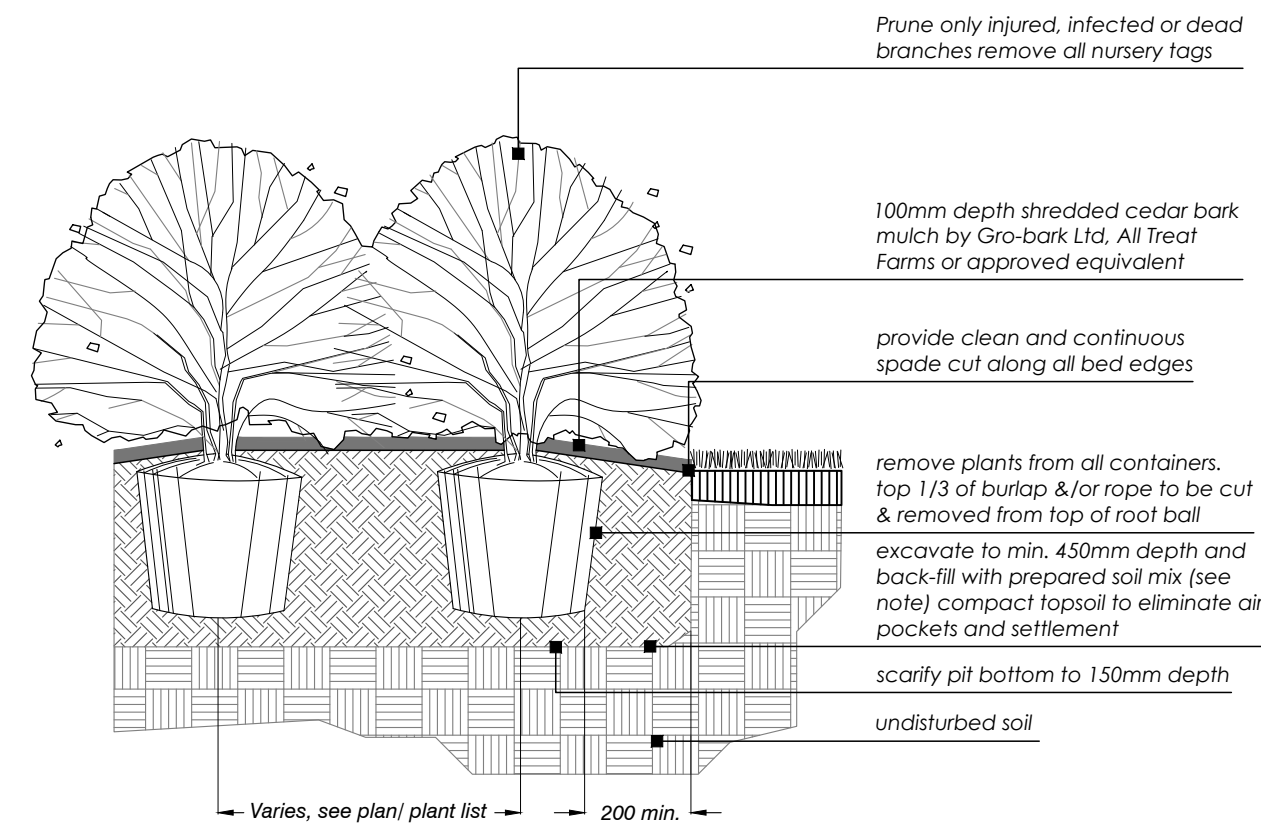
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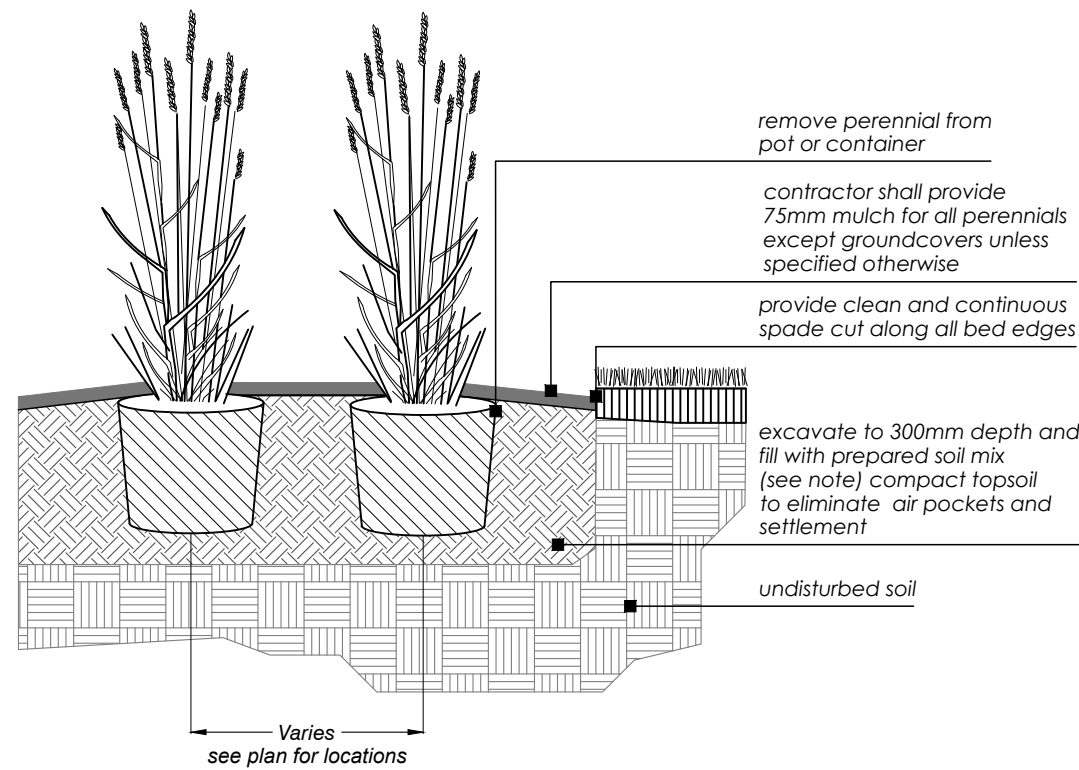
Balled & Burlapped/ Wire Basket Deciduous Tree

SCALE: NTS



Container Grown Shrub

SCALE: NTS



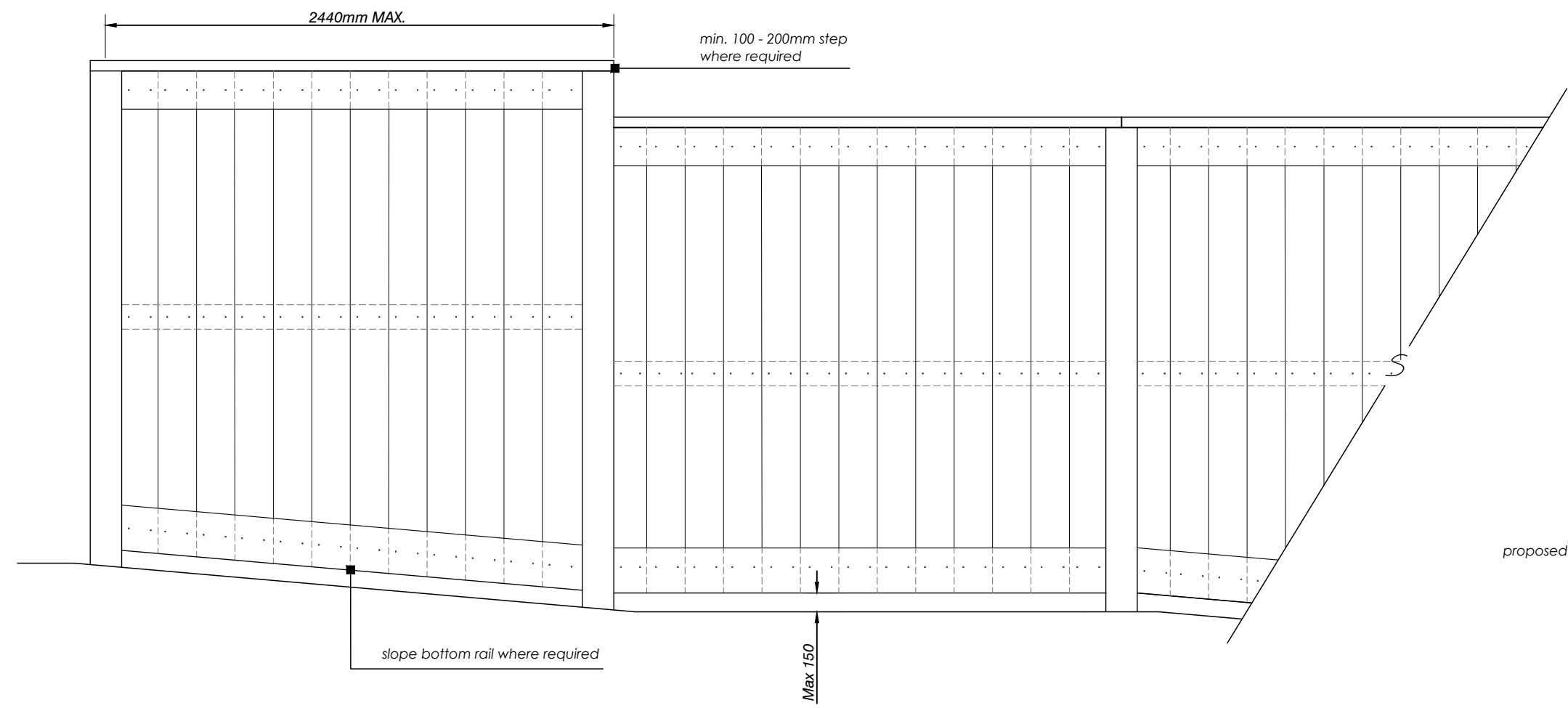
Container Grown Perennial

SCALE: NTS

PLANTING NOTES:

1. Soil mixture: four (4) parts native soil, one (1) part well rotted compost. If existing soil is not suitable provide triple mix topsoil or approved equal.
2. Saucer shall be soaked with water and mulched immediately following planting.
3. Massed shrubs shall be planted in continuous mulched beds unless otherwise noted.
4. Staking schedule:
 - < 30mm caliper size/ 2500mm ht. - one stake
 - > 30mm caliper size/ 2500mm ht. - two stakes
 - > 70mm caliper - three stakes
5. All support systems must be removed once tree is established.
6. All trees to be straight and planted vertically regardless of slope.
7. Top of root flare shall be positioned 50mm above grade.
6. The following depths of soil are required for planting:
 - 15cm topsoil for sod;
 - 30cm of topsoil for perennials;
 - 45cm of topsoil for shrubs;
 - 90cm of topsoil for trees.

ELEVATION



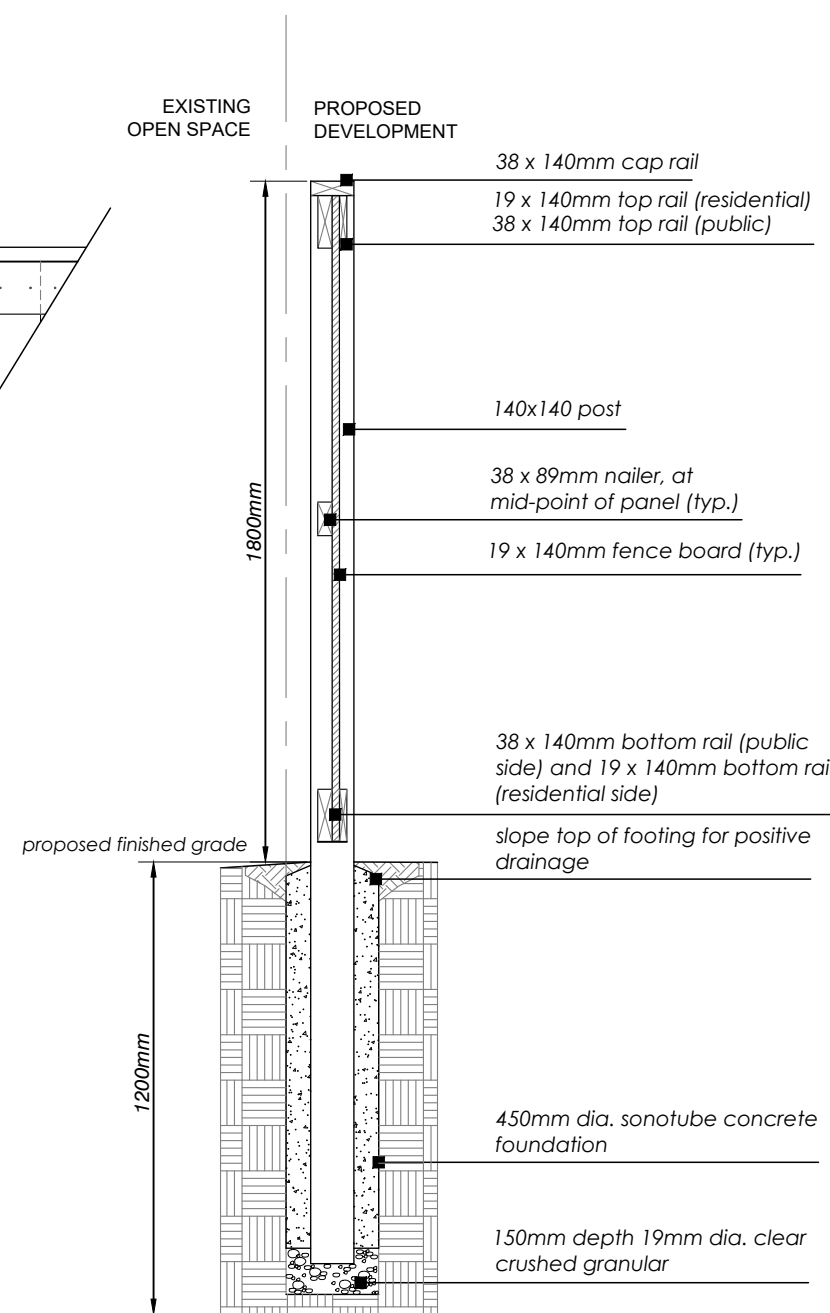
NOTES:

1. All materials, components and workmanship to conform to building and local by-laws.
2. All wood to be Pressure Treated (Spruce, Pine Fir) selected mainly for good appearance all members shall be free of wane and bark pockets. All torn grain shall be eliminated by sanding and planing. Members exhibiting moderate to heavy knots shall be well distributed throughout the site.
3. All cuts and holes that expose untreated wood should be liberally brush-coated with two applications of an end-cut preservative (copper naphthenate in ground contact or zinc naphthenate above ground) before the wood is installed. Follow the manufacturer's recommendations re: the application of suitable preservatives.
4. All wood to bear lumber grading stamp.
5. All fasteners shall have exterior grade finishes suitable for use with Pressure Treated lumber. Stainless steel, galvanized, zinc-dipped or ceramic-coated wood/deck screws are acceptable.
6. All galvanizing to be hot dipped in conformance to CSA standard C164.
7. Drive all fastener heads below surface of wood. Use sufficient size and quantity of fasteners to ensure a stable, secure structure.
8. Step fence panels minimum of 100 - 200mm at posts as required by grade conditions. Sloping of panels may be required for certain grade conditions - Consultant's approval required.
9. Lumber sizes are actual sizes rather than nominal sizes.
10. Concrete to have minimum compressive strength of 25 MPa @ 28 days with 5-7% air entrainment.
11. See landscape plan for fence location.

Wood Privacy Fence (1.8m height - pressure treated)

SCALE: NTS

SECTION



GENERAL LAYOUT NOTES

1. All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
2. Footing and excavation to be entirely on proposed development lands.

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Details

L-4

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