

The Corporation of The City of Burlington

City of Burlington By-law 2020.472

A by-law to amend By-law 2020, as amended; for 1120 Cooke Boulevard,
for the purpose of facilitating the mixed-use development of three residential
towers of maximum heights of 30, 32, and 34 storeys
File number: 520-01/22 (PL-04-24)

Whereas Section 34(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, states that Zoning By-laws may be passed by the councils of local municipalities; and

Whereas the Council of the Corporation of the City of Burlington approved PL-04-22 on March 19, 2024, to amend the City's existing Zoning By-law 2020, as amended, to permit the mixed-use development of three residential towers of maximum 30, 32, and 34 storeys;

The Council of the Corporation of the City of Burlington hereby enacts as follows:

1. Zoning Map Number 3 of PART 15 to By-law 2020, as amended, is hereby amended as shown on Schedule "A" attached to this By-law.
2. The lands identified on Schedule "A" attached hereto are hereby rezoned from MXC-26 to H-MXC-531.
3. Part 11, Appendix A, of By-law 2020, as amended, Site-Specific Requirements for Removal of an "H" Holding Symbol, is amended by creating Section 77 as follows:

77.	H-MXC-531	Map 3-E	Resolution:
Prior to the removal of the 'H' Holding Symbol, the following must be completed to the satisfaction of the Region of Halton: 1. The Owner executes a Regional Servicing Agreement for the replacement of the Cooke Boulevard sanitary sewer to address downstream sanitary sewer capacity.			

4. Part 14 of By-law 2020, as amended, Exceptions to Zone Classifications, is amended with the following:

Exception 531	Zone MXC	Map 3	Amendment 2020.472	Enacted March 19, 2024
1. <u>In addition to Part 1, Subsection 2.22 and Part 5, Section 3, the following uses are prohibited:</u>				
a) Funeral Home b) Automotive uses				
2. <u>Regulations for the entire site:</u>				
a) For the purposes of applying zoning regulations the property zoned MXC-531 shall be considered one lot.				
b) Notwithstanding Part 5, Section 4.1, Table 5.4.1 the maximum yard abutting any other street shall not apply.				
c) Notwithstanding Part 1, Section 2.27.1, for the purposes of establishing building setbacks or for the application of any other provisions of this By-law the deemed and actual street width of Cooke Boulevard is 17 m.				
d) Non-residential floor area i) Building A: ii) Building B & C:				None required 475 m ² combined
iii) Notwithstanding the combined non-residential floor area for Buildings B and C, Buildings B and C must provide a minimum of 175 m ² of non-residential floor area per building.				
e) Landscape Area abutting a street:				None required.
f) Amenity Area:				15 m ² per unit
g) A rooftop terrace shall maintain the principal building yards of the storey below it.				
h) Maximum Residential Units i) Building A: ii) Building B: iii) Building C:				450 units 370 units

	385 units
iv) Notwithstanding the maximum residential units in any individual building, the maximum number of residential units on the lands zoned MXC-531 shall be 1165.	
i) Maximum Floor Area Ratio:	9.1:1
j) Setbacks for a Below-grade parking structure to all lot lines: k) Setback from Cooke Blvd for an above-grade access stairway building to the below grade parking structure:	0.9 m 6 m
l) Setback from the north lot line for an above-grade access stairway building to the below grade parking structure: m) Set back to Waterdown Road for an entrance and exit ramp to a parking garage:	1.5 m 0 m
n) Parking: i) Occupant: ii) Visitor:	0.89 spaces/unit 0.08 spaces/unit
iii) Notwithstanding Part 5, Section 4.6(b), (c) and d) where a development is comprised of residential and non-residential uses, up to 100% of the required visitor parking located on the development site may be counted towards the required non-residential parking.	
o) Bicycle Parking: i) Long-term: ii) Short-term: iii) Vertical bicycle parking space dimensions: iv) Horizontal bicycle parking space dimensions:	0.5 spaces/unit 0.05 spaces/unit 0.6 m width 1.2 m length 0.6 m width

	1.8 m length
<p>p) Long-term bicycle parking spaces are bicycle parking spaces for use by the occupants, employees, or tenants of a building, and must be located in a building. Required long-term bicycle parking spaces in apartment buildings may not be in a dwelling unit, on a balcony, or in a storage locker.</p> <p>q) Short-term bicycle parking spaces are bicycle parking spaces for use by visitors to a building.</p> <p>r) Stacked bicycle parking spaces mean a horizontal bicycle parking space that is positioned above or below another bicycle parking space and equipped with a mechanical device providing floor level access to both bicycle parking spaces.</p> <p>s) All short-term bicycle parking spaces shall be provided as horizontal bicycle parking spaces and be provided at ground level.</p>	
<p>t) Accessory Structures on the ground:</p> <p>i) Maximum height:</p> <p>ii) Yard abutting Waterdown Road:</p> <p>iii) Yard abutting Masonry Court:</p> <p>iv) Yard abutting Cooke Boulevard:</p>	<p>One storey and 4 m</p> <p>1 m</p> <p>5 m</p> <p>6 m</p>
<p>u) Accessory Structures on a roof top terrace:</p> <p>i) Maximum height from the roof top:</p>	<p>3.7 m</p>
<p>v) Notwithstanding Part 1, Section 2.2.2 any accessory structure located on a terrace and/or roof top shall maintain the yard requirements of the floor level below the terrace and/or roof top</p>	
<p>w) Notwithstanding Part 5, section 4.6(f), the minimum width for a walkway connecting the sidewalk to the principal entrance of the building shall be 2 m.</p>	
<p>3. <u>Regulations applying to Building 'A' on Figure 531:</u></p>	
<p>a) Maximum height:</p>	<p>34 storeys and 112 m</p>
<p>b) Yard abutting Waterdown Road:</p> <p>i) Floors 1 to 12:</p> <p>ii) Floors 13 to 34:</p> <p>c) Yard abutting Masonry Court:</p> <p>d) North Side Yard:</p> <p>e) Yard abutting Cooke Boulevard:</p>	<p>4.5 m</p> <p>9 m</p> <p>50 m</p>


	6 m 40 m
f) Maximum Balcony Projections on the east elevations: i) Floors 2 to 7: ii) Floor 8 to 34: g) Maximum balcony projections on the south elevation: i) Floors 2 to 34: h) Maximum balcony projections abutting Waterdown Road: i) Floors 2 to 7: ii) Floor 8 to 34: i) Maximum balcony projections on the north elevation: i) Floor 2 to 7: ii) Floor 8 to 34:	2.1 m 1.5 m 1.5 m 2.1 m 1.5 m 2.1 m 1.5 m
j) A pedestrian accessible door shall be provided for residential apartment lobbies facing on the south or east elevation.	
4. <u>Regulations applying to buildings to Building 'B' on Figure 531:</u>	
a) Maximum height:	30 storeys and 100 m
b) Yards Abutting Waterdown Road: c) Abutting Masonry Court: i) Floors 1 to 8: ii) Floor 8 to 30: d) North Side Yard: e) Cooke Boulevard:	55 m 5 m 9 m 40 m 5 m
f) Maximum balcony projections abutting Cooke Boulevard: i) Floors 2 to 7: ii) Floors 8 to 30: g) Maximum balcony projections abutting Masonry Court:	3 m 1.5 m

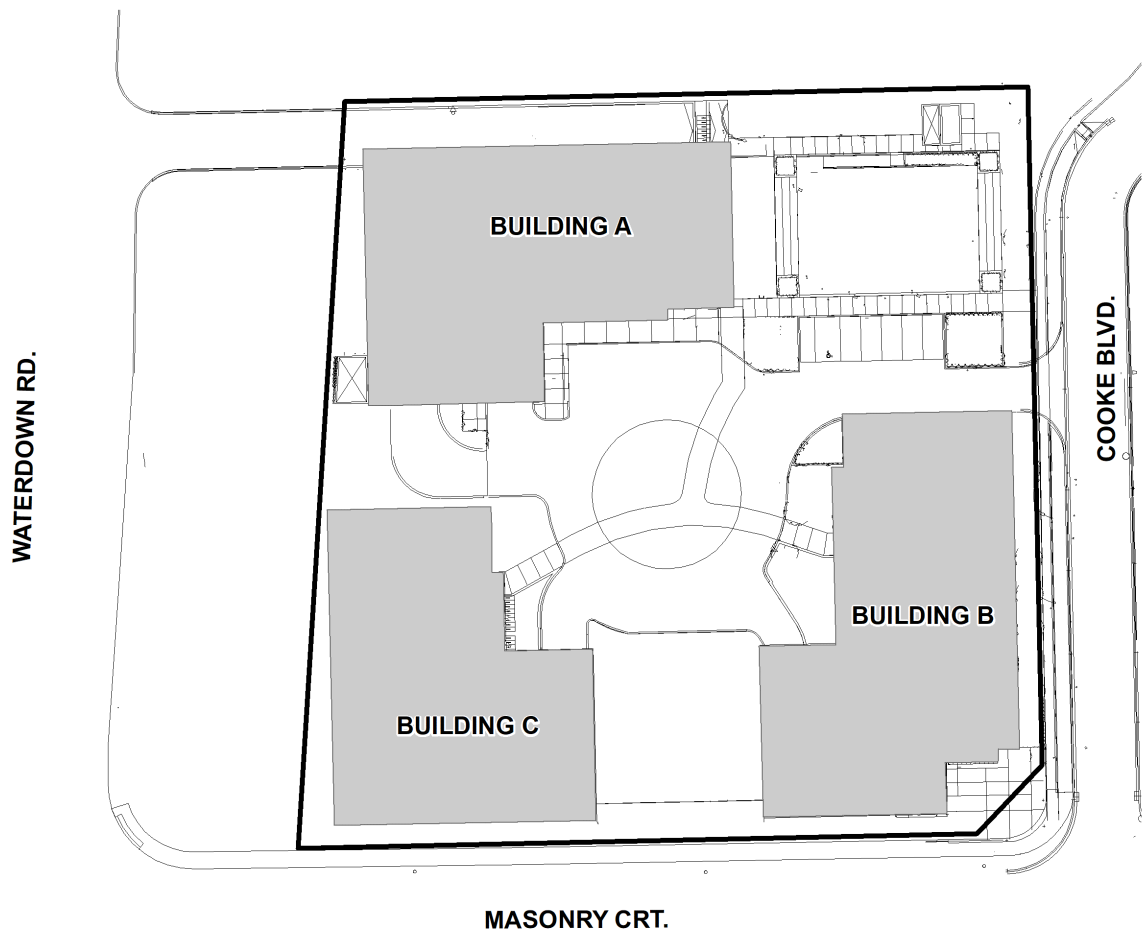
<ul style="list-style-type: none"> i) Floors 2 to 7: ii) Floors 8 to 30: h) Maximum balcony projections on the west elevation: <ul style="list-style-type: none"> i) Floors 2 to 30: i) Maximum balcony projections on the north elevation: <ul style="list-style-type: none"> i) Floor 2 to 30: 	2.1 m 1.5 m 1.5 m 1.5 m
<ul style="list-style-type: none"> j) A pedestrian accessible door shall be provided for residential apartment lobbies facing on the west elevation and facing Cooke Boulevard. k) A pedestrian accessible door shall be provided for all non-residential uses facing Masonry Court and/or Cooke Boulevard 	
5. <u>Regulations applying to buildings to Building 'C' on Figure 531:</u>	
a) Maximum height:	32 storeys and 106 m
<ul style="list-style-type: none"> b) Yard Abutting Waterdown Road: c) Yard Abutting Masonry Court: d) North Side Yard: e) Yard abutting Cooke Boulevard: 	3 m 5 m 50 m 50 m
<ul style="list-style-type: none"> f) Maximum Balcony Projections on the east building Elevations: <ul style="list-style-type: none"> i) Floors 2 to 32: g) Maximum balcony projections abutting Masonry Court: <ul style="list-style-type: none"> ii) Floors 2 to 7: iii) Floor 8 to 32: h) Maximum balcony projections abutting Waterdown Road: <ul style="list-style-type: none"> i) Floors 2 to 7: ii) Floor 8 to 32 i) Maximum balcony projections on the north elevation: <ul style="list-style-type: none"> i) Floor 2 to 6: ii) Floor 7 to 32: 	1.5 m 2.1 m 1.5 m 2.1 m 1.5 m

	2.1 m 1.5 m
<p>j) A pedestrian accessible door shall be provided for residential apartment lobbies facing on the east elevation and facing Masonry Court.</p> <p>k) A pedestrian accessible door shall be provided for all non-residential uses facing Masonry Court or on the east elevation.</p>	
Except as amended herein, all other provisions of this By-law, as amended, shall apply.	
Figure 531:	

FIGURE 531



 SUBJECT PROPERTY



Date: December 08, 2023
Community Planning Department

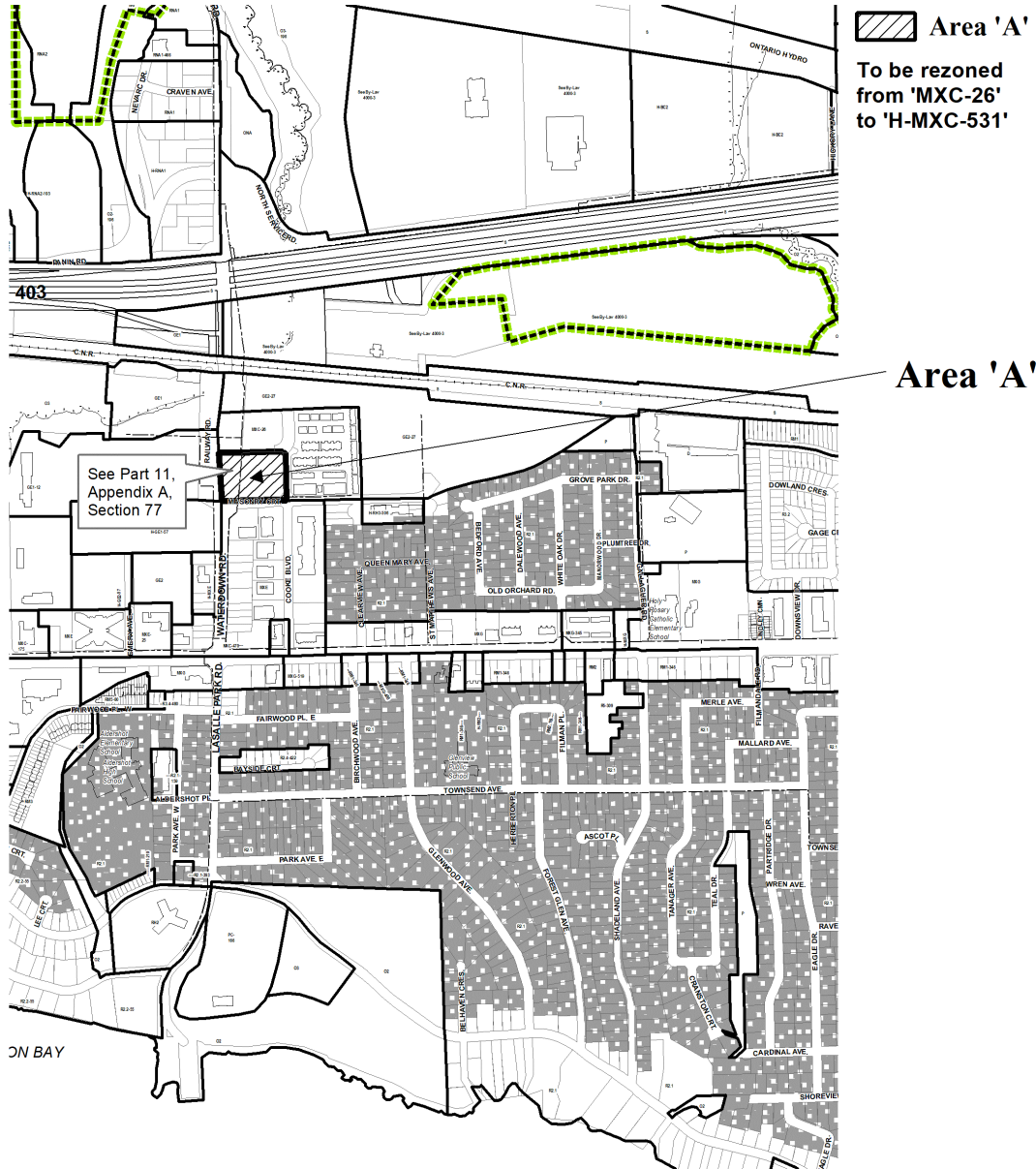


Enacted and passed this 18th day of June, 2024

Mayor Marianne Meed Ward _____

City Clerk Samantha Yew _____

SCHEDULE "A"



SCHEDULE 'A' TO BY-LAW 2020.472 AMENDING MAP NO. 3E PART 15, BY-LAW 2020 AS AMENDED.
PASSED THE 19th DAY OF MARCH, 2024

MAYOR

CITY CLERK

Explanation of Purpose and Effect of By-law 2020.472

By-law 2020.472 amends the zoning regulations applying to 1120 Cooke Boulevard, located on the north side of Masonry Court between Waterdown Road and Cooke Boulevard, to permit the mixed-use development of three residential towers of maximum 30, 32, and 34 storeys.

For further information regarding By-law 2020.472, please the City of Burlington's Community Planning Department at planning@burlington.ca or (905) 335-7600.