

DESIGN LOADS

- GROUND SNOW (S_G) RAIN (S_R): 1.1 / 0.4 MPa
- MAXIMUM ROOF SNOW (S): 1.28 MPa
- ROOF DEAD LOAD (D): 1.0 MPa
- WIND (W): 1.0 MPa
- FLOOR (151/2ND) DEAD LOAD (D): 1.0 MPa
- FLOOR (151/2ND) LIVE LOAD (L): 1.9 MPa

GENERAL NOTES

- UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE, CBC (2024) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
- DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
- CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.

LUMBER NOTES

- ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE OR BETTER AND CONFORM TO CSA-O141.
- ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
- TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLLOW DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.
- ROOF SHEATHING TO BE 12mm (1/2") PLYWOOD (MINIMUM) T&G, NAILLED W/ 90 NAILS AT 8" OC ALONG EDGES.
- PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR FLOOR JOISTS.
- ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.O.N) WITH EQUAL NUMBER OF LAMINATIONS.
- WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY. PROVIDE PRESSURE TREATED, POLY. OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
- ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
- ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.

FOUNDATION NOTES

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 1577 P.S.F.
- PROVIDE 4"-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
- ALL REINFORCING STEEL TO BE #40W AND SHALL CONFORM TO CSA G30.18 #40#2.
- ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
- PROVIDE 6" DEEP CORNER BRICKS AT ALL EXTERIOR DOOR LOCATIONS.
- CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
 - VERIFICATION OF SOIL BEARING CAPACITY
 - INSPECTION OF REINFORCING

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16.
- STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
- STRUCTURAL STEEL CHANNELS, HSS, & ANGLES MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N.
- ALL STRUCTURAL STEEL PLATE SHALL CONFORM TO CSA G40.21, GRADE 300W, CLASS C U.O.N.
- BOLTED CONNECTIONS SHALL BE MADE OF ASTM A3125 GRADE A325 U.O.N.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307 U.O.N.
- ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY A FIRM CERTIFIED IN DIVISION 1 or 2.
- ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH CSA G40.21.
- TOUCH UP ALL FIELD WELDS BY APPLYING MIN. OF 2 COATS OF ZINC RICH PAINT.
- ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER.
- DO NOT SPLICE OR CUT OPENING IN STRUCTURAL STEEL WITHOUT THE ENGINEER'S APPROVAL.

MASONRY (VENEER) NOTES

- MASONRY BRICK CONFORM TO CSA S304.1
- MINIMUM BRICK VENEER STRENGTH TO BE 200 MPa (CLAY).
- THE MINIMUM BRICK LINTEL BEARING DISTANCE ON MASONRY WALLS SHOULD BE 200 mm (8") U.O.N.
- MASONRY TIES SHALL CONFORM TO CSA-A370. HOT DIPPED GALVANIZED TIES ARE REQUIRED.
- TIES SHALL BE SPACED AT NO MORE THAN 910mm C/C HORIZONTALLY AND 610mm C/C VERTICALLY.
- TIES CONNECTING TO WOOD STUDS MAY BE FACE OR SIDE MOUNTED.

CONCRETE & REINFORCING NOTES

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 1577 P.S.F.
- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & A23.3.
- REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, Fy=400 MPa
- ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.
 - CONCRETE CAST AGAINST EARTH: 75 MM (3")
 - INTERIOR SLABS: 20 MM (1")
- ALL CONCRETE SHALL BE A MINIMUM OF 25 MPa AT A 28 DAY COMPRESSIVE STRENGTH U.O.N.

CONCRETE MASONRY NOTES

- MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - CSA A371-MASONRY CONSTRUCTION FOR BUILDINGS
 - CSA A185- CSA STANDARDS FOR CONCRETE MASONRY UNITS
 - CSA A178- MORTAR AND GROUT FOR UNIT MASONRY
- ALL CONCRETE BLOCK SHALL HAVE NET COMPRESSIVE STRENGTH OF 15 MPa
- MASONRY WALLS SHALL HAVE TYPE 3 MORTAR
- GROUT SHALL BE IN ACCORDANCE WITH THE ABOVE NOTED STANDARDS
- PROVIDE THREE COURSES OF FULLY GROUTED MASONRY UNDER BEARING PLATES FOR STEEL BEAMS (U.O.N.)
- PROVIDE LATERAL RESTRAINT AT THE TOP OF ALL NON LOAD-BEARING PARTITIONS.
- INSTALL LADDER TYPE BLOCK-OUT EVERY THIRD COURSE IN ALL MASONRY WALLS (U.O.N.)
- PROVIDE A SINGLE COURSE BOND BEAM AT THE TOP OF ALL NON LOAD-BEARING WALLS. REINFORCED W/ (2) 10M BARS CONTINUOUS.
- PROVIDE (1) 15M VERTICAL BAR IN EVERY FOURTH CELL IN ALL MASONRY WALLS (U O.N.)
- THE MINIMUM BEARING DISTANCE ON MASONRY WALLS ARE:
 - 100mm (4")
 - BEAMS: 150mm (6")
 - LINTELS: 200mm (8")
 - CONC. SLABS: 100mm (4")

CONCRETE & REINFORCING NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & A23.3.
- REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, Fy=400 MPa
- WELDED WIRE MESH & WELDED WIRE FABRIC SHALL CONFORM TO CSA G30.5, Fy=160 MPa & HAVE A MINIMUM LAP OF 150 MM (6") AT JOINTS U.O.N.
- ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD
- A23.3 & ALL BARS SPLICES TO BE CLASS 'B' TENSION U.O.N.
- CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF THE AREA AND COVER NO MORE THAN 14" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS.
- ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.
 - CONCRETE CAST AGAINST EARTH: 75 MM (3")
 - EXTERIOR BEAMS, SLABS, COLUMNS/PIERS AND WALLS: 40 MM (1.5")
 - INTERIOR BEAMS & COLUMNS/PIERS: 30 MM (1.25")
 - INTERIOR SLABS: 20 MM (1")
- CONCRETE PROPERTIES:
 - CONCRETE SHALL BE PLACED IN THE APPROPRIATE LOCATION & HAVE THE MIX PROPERTIES AS PER THE TABLE BELOW
 - IF NOT IN THE TABLE ALL CONCRETE SHALL BE A MINIMUM OF 25 MPa AT A 28 DAY COMPRESSIVE STRENGTH U.O.N.

STRUCTURAL SCHEDULE

WOOD LINTELS:	
L1	2 PLY - 2X8
L2	2 PLY - 2X10
L3	3 PLY - 2X8
L4	3 PLY - 2X10
L5	2 PLY - 2X12
L6	3 PLY - 2X12
BEAMS:	
B1	FLUSH, 2-PLY 2.0E LVL 1 3/4" x 5 1/2"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B2	FLUSH, 4-PLY 2.0E LVL 1 3/4" x 7 1/4"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B3	FLUSH, WEX15 QB 3-PLY 2.0E LVL 1 3/4" x 9 1/4"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B4	3-PLY 2.0E LVL 1 3/4" x 7 1/4"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B5	FLUSH, WEX15 QB 4-PLY 2.0E LVL 1 3/4" x 9 1/4"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B6	W10x22 STEEL BEAM - FLUSH, SEE DETAIL
B7	2-PLY 2.0E LVL 1 3/4" x 11 1/8"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
B8	WB48 STEEL BEAM - DROPPED; SEE DETAIL
B9	2-PLY 2X12 P.T. WOOD BEAM OR 3-PLY 2X10 P.T. WOOD BEAM
B10	2-PLY 2X8 P.T. WOOD BEAM
B11	FLUSH, 3-PLY 2.0E LVL 1 3/4" x 7 1/4"; PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O/C
LEDGER BOARD / JOISTS:	
LJ1	2X4 LEDGER BOARD c/w 5/8" HLTI HIT HY EPOXY ANCHORS W/ SLEEVES @ 16" O/C STAG. INTO CONC. PROVIDE (2) AT ENDS
J1	2X8 FLOOR JOISTS @ 12" O/C c/w 3/4" T&G (GLUED AND SCREWED) OR PRE-ENG FLOOR TRUSSES @ 16" O/C
J2	2X4 FLOOR JOISTS, P.T., @ 16" O/C c/w 5/4" P.T. WOOD DECK BOARDS
J3	2X8 FLOOR JOISTS @ 16" O/C c/w 3/4" T&G (GLUED AND SCREWED)
R1	2X8 RAFTERS c/w 2X6 COLLAR TIES @ 16" O/C. PROVIDE 1/2" SPF SHEATHING W/ H CLIPS
R2	2X8 RAFTERS c/w 2X6 COLLAR TIES @ 16" O/C. PROVIDE 1/2" SPF SHEATHING W/ H CLIPS
R3	2X8 RAFTERS c/w 2X4 COLLAR TIES W/ REQ'D @ 16" O/C. PROVIDE 1/2" SPF SHEATHING W/ H CLIPS
C1	2X6 GL. JOISTS @ 16" O/C
C2	2X10 CL. JOISTS @ 16" O/C
WOOD BUILD UP POSTS / COLUMNS:	
P2	2 PLY - 2X6*
P3	3 PLY - 2X6* (2 JACKS + 1 KING FOR WINDOWS AND DOORS U.O.N.)
P4	4 PLY - 2X6*
P5	5 PLY - 2X6*
P6	6 PLY - 2X6*
COL. 1	HSS 3.5"x3.5"x1/4" C/W 5.5"x9"x3/8" THK. CAP PLATE & (4) 1/2" DIA. BOLTS W/ 5.0"x3/8" WASER (SEE TYP. BASEPLATE DETAILS) W/ (2) 5/8" DIA. BOLTS
FOUNDATION WALLS:	
PC10	10" CONC. FDN. WALLS r/w 15M @ 16" O/C VERT. & HORIZ., 'L' BARS TO MATCH THE VERT. 24" LG. - SEE FLOOR PLANS / ASSEMBLY LEGEND FOR REINFORCING DETAILS
STRIP FOOTINGS:	
EXT.	24" x 8" THK. r/w (2) CONT. 15M BARS - U.N.O
INT.	20" x 8" THK. r/w (2) CONT. 15M BARS - U.N.O.
PAD FOOTINGS:	
FTG.1	10" DIA. CONC. PIER
FTG.2	10" DIA. PIER ON BF 28 (BIG FOOT FOOTING) - 4" MIN. FROST PROTECTION
FTG.3	2'-10" x 2'-10" x 12" THK. c/w (4) 15M BARS EW
LOOSE BRICK LINTELS:	
LL1	1x4.3.5x5/8" - 5'-0" U. UNDER (8" BEARING ON E/S)
LL2	1x4.3.5x3/8" - 5'-0" TO 10'-0" SPAN (8" BEARING ON E/S)
LL3	1x6.4x3/8" - 7'-0" TO 9'-0" SPAN (8" BEARING ON E/S)

NOTE SCHEDULE

- ALL INTERIOR AND EXTERIOR FINISHES TO BE SPECIFIED BY OWNER, UNLESS NOTED ON DRAWINGS.
- GENERAL:**
- ALL CONSTRUCTION TO CONFORM TO THE MOST CURRENT VERSION OF THE O.B.C.
 - DO NOT SCALE DRAWINGS - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 - ALL 3D VIEWS ARE SUPPLEMENTAL TO THE REFERRING 2D DOCUMENTS AND ARE PROVIDED FOR INFORMATION ONLY
 - PROVIDE ADEQUATE TEMPORARY SHORING AS REQ'D DURING CONSTRUCTION AND/OR DEMOLITION
- STAIR RAILINGS:**
- STAIRS DIMENSIONS - MAX RISE 7'-8"; MIN. TREAD 10'-4"; MIN. HEADROOM 6'-4"; MIN. WIDTH 3'-0" AS PER O.B.C. 9.8.3.
 - HANDRAIL - 3" ABOVE STAIR AND INT. LANDINGS & 30" AT MAIN LANDINGS AS PER O.B.C. 9.8.7.
 - GUARDS - REQ'D IF BALCONY / PORCH IS OVER 2'-8" ABV ADJ SURFACE. PROVIDE MIN 38" AFF. GUARDS TO COMPLY W/ O.B.C. 9.8.8 & SB-7. MAX PICKET SPACING 4" & SHALL NOT PERMIT 4" SPHERE TO PASS.
- VENTILATION**
- MECHANICAL VENTILATION AS PER O.B.C. 9.3.3
 - ROOF VENTILATION AS PER 9.3.2 OF O.B.C. - INSTALL COLOURED PLASTIC MUSHROOM TYPE VENTS OR EQ. TO PROVIDE A VENT AREA OF 1/500 OF THE INSULATED CEILING AREA, OR 1/150 WHERE ROOF SLOPE IS LESS THAN 1 IN 5.
 - RANGE/COOKTOP TO VENT DIRECTLY TO EXTERIOR
 - DRYER TO VENT DIRECTLY TO EXTERIOR
 - MECHANICALLY VENTED EXHAUST FANS TO EXTERIOR W/ MIN. 1 AIRCHANGE PER HOUR
- DOORS & WINDOWS**
- WINDOW AND DOOR SIZES ARE APPROX. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURER SPECIFICATIONS
 - CONTRACTOR OR OWNER TO VERIFY QUANTITY AND IS RESPONSIBLE FOR ORDERING
 - DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING, WEATHERSTRIPPED, INSULATED AND PROVIDED W/ SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING
 - GLASS TO BE MINIMUM DOUBLE-GLAZED THERMALLY BROKEN W/ LOW 'E' & ARGON GAS FILLED
 - KITCHEN / BATHROOM CABINETRY AND MILLWORK AS PER MANUFACTURERS AND OWNERS LAYOUT
 - BUILT-IN CABINETRY AS PER KITCHEN DESIGNER. NO KITCHEN DESIGNER, CONSULT W/ OWNER FOR REQUIREMENTS

IMPERATIVE SENTENCES

- GENERAL REQUIREMENTS**
- IMPERATIVE SENTENCES:** THE SPECIFICATIONS ARE DIRECTED AT THE CONTRACTOR. SENTENCES WRITTEN IN THE IMPERATIVE FORM THROUGHOUT DOCUMENTS APPLY TO THE CONTRACTOR.
- DEMO MEANS:** DEMOLITION AND REMOVAL AS INDICATED ON DWGS. RESTORATION OF DAMAGED OR DISTURBED WORK INCLUDES REMOVAL OF DEBRIS AND MATERIALS AFFECTED BY NEW WORK.
- SUPPLY MEANS:** DELIVER TO THE SITE AND PLACE AS DIRECTED BY THE CONTRACTOR.
- INSTALL MEANS:** ACCOMMODATE IN THE WORK. RECEIVE, STORE, UNCRATE, ASSEMBLE, ADJUST, TRIM, AND FIT AS NECESSARY. LOCATE AS PER THE DOCUMENTS AS ADJUSTED BY THE CONSULTANT. AFFIX TO THE WORK AND CONNECT TO SERVICES AS PER MANUFACTURERS INSTRUCTIONS AND AS REQUIRED BY THE DOCUMENTS IN CONFORMANCE AS REQUIRED FOR FULL OPERATION OR SERVICE AND MAKE FINAL TRIMMING AND ADJUSTMENT. TEST, CLEAR, MAKE FULLY OPERATIONAL, WARRANT AND DEMONSTRATE USE TO THE OWNER.
- REMOVE MEANS:** SUPPLY AND INSTALL.
- MAKE GOOD MEANS:** TO REMOVE AND REPLACE, REPAIR, PATCH, TRIM, SAND AND PAINT. AS NECESSARY, ALL AFFECTED ITEMS AND SURFACES USING MATERIALS AND PROCEDURES TO MATCH ADJACENT MATERIALS AND FINISHES.
- NOT IN CONTRACT:** SOMETHING SHOWN OR SPECIFIED SHALL BE INDICATED AS NOT BEING IN THE CONTRACT IS BY THE USE OF THE INITIALS 'NIC' OR THE WORDS 'NOT IN THE CONTRACT', 'BY OWNER' OR 'BY OTHERS' CONTRACTOR.
- AUTHORITY OF THE CONSULTANT:** WHEREVER THE WORDS 'APPROVED', 'SATISFACTORY', 'DIRECTED', 'PERMITTED', 'INSPECTED', 'INSTRUCTED', 'REQUIRED', 'SUBMIT', 'ORDERED', OR SIMILAR WORDS OR PHRASES ARE USED IN THE CONTRACT DOCUMENTS, IT SHALL BE UNDERSTOOD, UNLESS THE CONTEXT PROVIDES OTHERWISE, THAT 'BY' (TO) THE CONSULTANT FOLLOW.
- CONTRACT DOCUMENTS:** TRADES ARE ADVISED THAT ALL ITEMS, SYSTEMS AND INFORMATION DESCRIBED IN THE SPECIFICATIONS, AND ALL LINES, SURFACES, ITEMS AND INFORMATION NOTED ON THE DRAWINGS (REFERRED TO AS ITEMS) HAVE A VALUE ASSOCIATED WITH THEM. THE TRADES PRICE MUST INCLUDE A PRICE FOR ALL ITEMS NOTED.
- IF A DISCREPANCY WITHIN THE CONTRACT DOCUMENTS IS DISCOVERED AND A CLARIFICATION BY THE CONSULTANT INVOLVES THE DELETION OF AN ITEM FROM THE CONTRACT, A CREDIT TO THE CONTRACT WILL BE DETERMINED.

ABBREVIATIONS

ABV	ABOVE	LF	LINTEL + NO. OF PLY	APPLIANCES & EQUIPMENT	
ACC	ACCESSORY	NIC	NOT IN CONTRACT	ASHP	AIR SOURCE HEAT PUMP
ASHP	AIR SOURCE HEAT PUMP	NO.	NUMBER	F	FRIIDGE
#H	BEAM + NO. OF PLY	ON CENTER	FR	FREZZER	
C/A	COMPLIANCE ALTERNATIVE	P#	STUD + NO. OF PLY	IC	INDUCTION COOKING
CL	CLOSET	PROP	PROPOSED	R	RANGE
COL	COLLUMN	P.T	PRESSURE TREATED	SUMP	SUMP PIT
CON	CONNECTION	R/A	RETURN AIR	WH	WATER HEATER
C/O	CARBON MONOXIDE	RM	ROUGH CUT		
CT	COLLAR TIE	ROOM	ROOM		
ELEV	ELEVATION	S/A	SMOKE ALARM		
EST	ESTABLISHED	STAG.	STAGGERED		
ES	EACH SIDE	TB	THERMALLY BROKE		
EW	EACH WAY	VB	VAPOR CONTROL LAYER		
EX	EXISTING	W	WITH		
EXT	EXTERIOR	WIN	WINDOW		
GC	GENERAL CONTRACTOR	WRB	WEATHER RESISTANT BARRIER		
HT	HEIGHT	X-	EXISTING		
INTR	INTERIOR				
KN	KILNEWTON				

LEGEND

- OUTSIDE PRIMARY SCOPE OF WORK
- EX-WALL TO REMAIN
- GLAZING
- EXISTING ITEM (WALL, WINDOW, FIXTURE, MILLWORK, ETC.) TO BE REMOVED
- X-DOOR & FRAME TO REMAIN
- X-DOOR & FRAME TO BE REMOVED



2 3D FRONT

ROOF TYPE LEGEND

	<p>STICK FRAMED ROOF</p> <ul style="list-style-type: none"> ASPHALT SHINGLES (40 YEAR MIN) 1/2" SPRUCE PLYWOOD STICK FRAMED ROOF RAFTERS, 6" RAISED HEEL - SEE SECTION FOR DETAILS RIG BLOWN-IN INSULATION c/w 'RAFT-R-MATE' ATTIC RAFTER VENTS OR EQ. - MIN. 2" AIR FLOW VAPOR CONTROL LAYER CONT. LAPPED & SEALED 6 MIL POLY OR APPROVED ALT. STRAPPING AT 16" O/C & ELEC CHASE 1x WOOD FURRING STRIPS @ 1/2" METAL CHANNEL 1/2" GYPSUM BOARD PAINTED <p>Thermal R VALUE : R60</p>
	<p>Batt Insulated Vented Roof Option 2b</p> <ul style="list-style-type: none"> ASPHALT SHINGLES (40 YEAR MIN) 1/2" SPRUCE PLYWOOD + 1" CLIPS PREL. ENG TRUSSES, 6" RAISED HEEL - SEE SECTION FOR DETAILS CW CONTINUOUS VENT FROM SOFFIT TO RIDGE. CREATE 1-1/4" VENT GAP B/W RAFTERS W CONT. FOAM RIGID VENT OR APPROVED ALT. 9" (R24) BATT INSULATION BASIS OF DESIGN: DESIGN ROCKWOOL COMFORTBATT BATT INSULATION VAPOR CONTROL LAYER LAPPED & SEALED 1/2" MIL POLY OR APPROVED ALT. STRAPPING AT 16" O/C & ELEC CHASE 1x WOOD FURRING STRIPS @ 1/2" METAL CHANNEL 1/2" GYPSUM BOARD <p>Thermal R VALUE : R32 Exceeds min code req'd R31</p>
	<p>Spray Foam Vented Roof Option 2s</p> <ul style="list-style-type: none"> ASPHALT SHINGLES (40 YEAR MIN) 1/2" SPRUCE PLYWOOD + 1" CLIPS PREL. ENG TRUSSES, 6" RAISED HEEL - SEE SECTION FOR DETAILS RAFTERS AS PER PLANS CW CONTINUOUS VENT FROM SOFFIT TO RIDGE. CREATE 1-1/4" VENT GAP B/W RAFTERS W CONT. FOAM RIGID VENT OR APPROVED ALT. 5 1/2" (R33) CLOSED CELL SPRAY FOAM - 2" LIFTS RESILIENT CHANNEL AT 16" O/C c/w 1/2" GYPSUM BOARD <p>Thermal R VALUE : R32.5 Exceeds min code req'd R31</p>

EXTERIOR WALL TYPE LEGEND

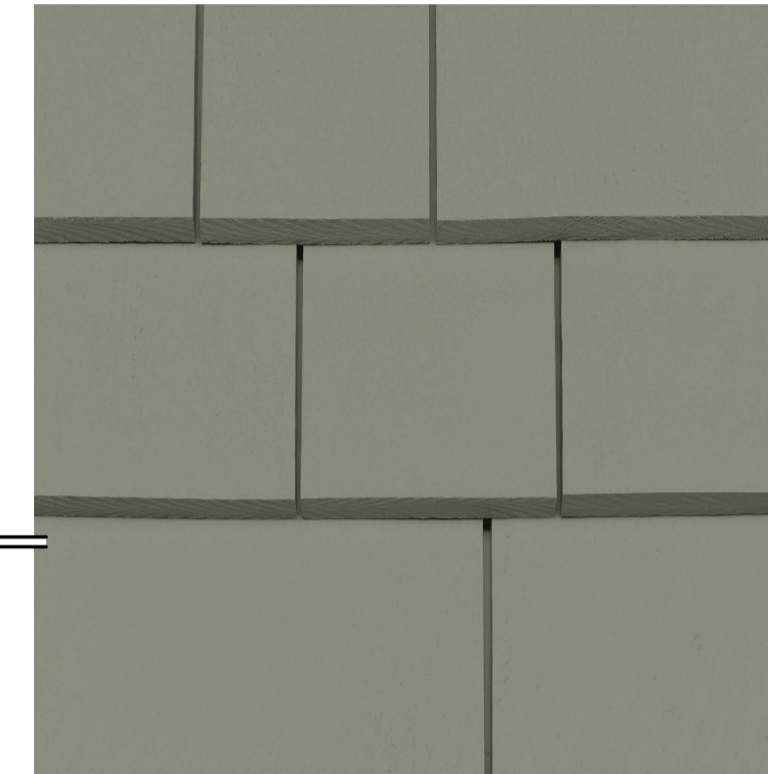
	<p>1/2" DRYWALL</p> <ul style="list-style-type: none"> VAPOR CONTROL LAYER (MIL POLY OR APPROVED ALT) 2X6" WOOD STUDS AT 16" O/C c/w R24 ROXUL BATT INSULATION OPTIONAL (R24) ROXUL BATT INSULATION 1/2" EXT. SPRUCE PLYWOOD EXT. SHEATHING W WRB MEMBRANE AIR WATER BARRIER 1" CONT. RIGID INSULATION (R5 c) CONT.) TAPED JOINTS, MECHANICALLY FASTENED EXTERIOR SIDING ON WOOD FURRING STRIPS - AS PER OWNER <p>Thermal R VALUE : R27 Exceeds min code req'd R27 (R22 + R5 c)</p>
	<p>1/2" DRYWALL</p> <ul style="list-style-type: none"> VAPOR CONTROL LAYER CONT. LAPPED & SEALED 2X6" WOOD STUDS AT 16" O/C c/w R24 ROXUL BATT INSULATION OPTIONAL (R24) ROXUL BATT INSULATION 1/2" EXT. SPRUCE PLYWOOD EXT. SHEATHING W WRB MEMBRANE AIR WATER BARRIER 1" CONT. RIGID INSULATION (R5 c) CONT.) TAPED JOINTS, MECHANICALLY FASTENED 1/2" AIR FLOW & DRAINAGE LAYER 1" CONT. RIGID INSULATION (R5 c) CONT.) TAPED JOINTS, MECHANICALLY FASTENED EXTR CEDAR SHAKE SIDING ON WOOD FURRING STRIPS - AS PER OWNER <p>Thermal R VALUE : R22 + R5 c MINIMUM</p>
	<p>10" POURED CONCRETE FOUNDATION WALL</p> <ul style="list-style-type: none"> WATERPROOFING DRAINAGE SYSTEM <p>Thermal R VALUE : N/A</p>

INTERIOR WALLS

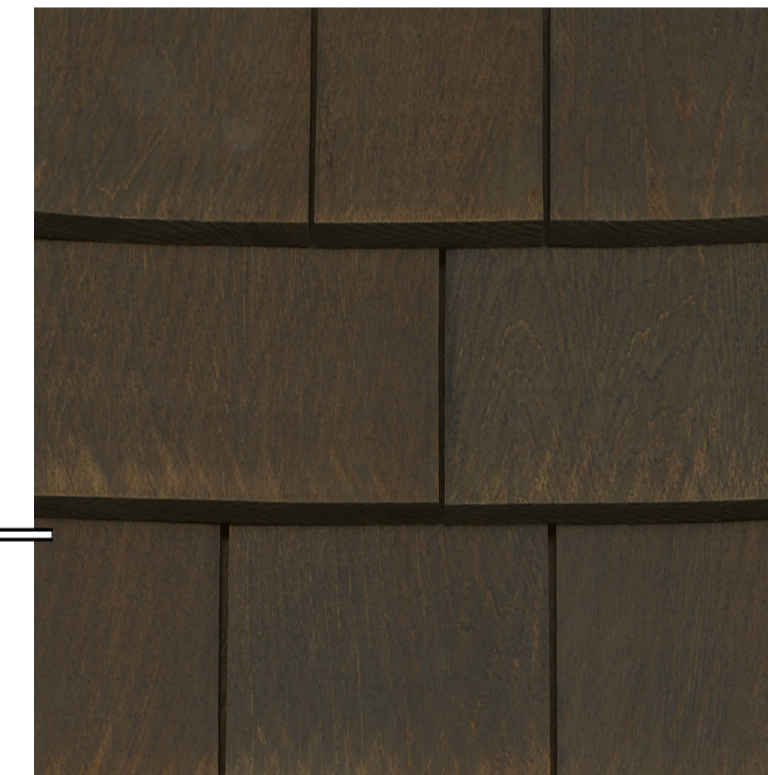
	<p>ALL INTERIOR WALLS AREA "N" CONSTRUCTION, UNLESS OTHERWISE NOTED</p> <ul style="list-style-type: none"> ONE LAYER 1/2" GWB 2x4 OR 2x6 SPRUCE STUDS @ 16" o.c ONE LAYER 5/8" PLYWOOD FOR WALL REINFORCEMENT REFER TO PLAN FOR LOCATIONS ONE LAYER 1/2" GWB <p>*** SOUND INSULATION IN WALLS AS PER OWNER. ALLOW FOR CONT. INSULATION ALL SIDES OF WASHROOMS & LAUNDRY ROOMS TYP</p> <p>*** REFER TO PLANS FOR WALL REINFORCEMENT LOCATIONS.</p> <p>PROVIDE 1 LAYER OF 5/8" PLYWD CONCEALED BY WALL FINISH</p> <p>*** WHERE TILE FINISH CALLED FOR, SUBSTITUTE GWB FOR TILE BACKERBOARD TYP</p> <p>Thermal R VALUE : R12 + R10 c = R22 Exceeds min code req'd R20c</p>
	<p>1/2 GYPSUM WALLBOARD</p> <ul style="list-style-type: none"> WATERPROOFING AT 16" o.c. R12 BATT INSULATION BASIS OF DESIGN: Intello Plus by ProClima dist. by 475 CONT. SILL PLATE TRANSITION MEMBRANE LAP & SEALED BELOW WALL & ONTO RIGID R10 (2") CONT. RIGID INSULATION (TAPED JOINTS) <p>Thermal R VALUE : R12 + R10 c = R22 Exceeds min code req'd R20c</p>

FLOOR TYPE LEGEND

	<p>3/4" EDGE GOLD OR EQ. SUBFLOOR (GLUE AND SCREW TO WOOD FLOOR JOISTS)</p> <ul style="list-style-type: none"> 1" JOISTS (REFER TO FLOOR PLANS FOR SIZES) C/W PARALLEL WALL BEARING SUPPORTS & BRACING BASIS OF DESIGN: TRIFORCE BY BARRETTE 1 ROW OF SOLID BLOCKING 3 1/2" CONTINUOUS BATT INSULATION BASIS OF DESIGN: SAFE AND SOUND BY ROCKWOOL RESILIENT CHANNEL @ 16" O/C c/w 1/2" GYPSUM BOARD <p>* OPTIONAL ASSEMBLY LAYER AS PER OWNER</p> <p>Thermal R VALUE : R33 Exceeds min code req'd R31</p>
	<p>Spray Foam Exposed floor Option 2s</p> <ul style="list-style-type: none"> 3/4" EDGE GOLD OR EQ. SUBFLOOR (GLUE AND SCREW TO WOOD FLOOR JOISTS) FLOOR JOISTS (REFER TO FLOOR PLANS FOR SIZES) 5.5" (R33) CLOSED CELL SPRAY FOAM - 2" LIFTS MATCH THICKNESS AT ALL RECESSED PLUMBING 1/2" EXTR GRADE SHEATHING c/w LAPPED PRESSURE ROLLED & SEALED WRB WEATHER RESISTIVE BARRIER AIR/WATER CONTROL LAYER BASIS OF DESIGN: ZIP SYSTEM SHEATHING & TAPE ZIP FOR REDUCED THERMAL BRIDGING PRE-FIN METAL CLADDING LAPPED W EXPOSED FASTENERS <p>* ASSEMBLY PART OPTIONAL - AS PER OWNER</p> <p>Thermal R VALUE : R14 + R22 = R36 Exceeds min code req'd R31</p>
	<p>Batt Insulated Exposed floor Option 2b</p> <ul style="list-style-type: none"> 3/4" EDGE GOLD OR EQ. SUBFLOOR (GLUE AND SCREW TO WOOD FLOOR JOISTS) FLOOR JOISTS (REFER TO FLOOR PLANS FOR SIZES) 3 1/2" (R14) + 5 1/2" (R22) BATT INSULATION BASIS OF DESIGN: ROCKWOOL BATT INSULATION VAPOR CONTROL LAYER (MIL POLY OR APPROVED ALT) 1/2" EXTR GRADE SHEATHING c/w LAPPED PRESSURE ROLLED & SEALED WRB WEATHER RESISTIVE BARRIER AIR/WATER CONTROL LAYER BASIS OF DESIGN: ZIP SYSTEM SHEATHING & TAPE ZIP FOR REDUCED THERMAL BRIDGING PRE-FIN METAL CLADDING LAPPED W EXPOSED FASTENERS <p>* ASSEMBLY PART OPTIONAL - AS PER OWNER</p> <p>Thermal R VALUE : R14 + R22 = R36 Exceeds min code req'd R31</p>
	<p>1/2 GYPSUM WALLBOARD</p> <ul style="list-style-type: none"> 4" SLAB ON GRADE 10MIL POLY VAPOR BARRIER R15 (2") RIGID INSULATION UNDER ENTIRE FLOOR 8" CLEAR STONE ON UNDISTURBED SOIL <p>Thermal R VALUE : 15</p>



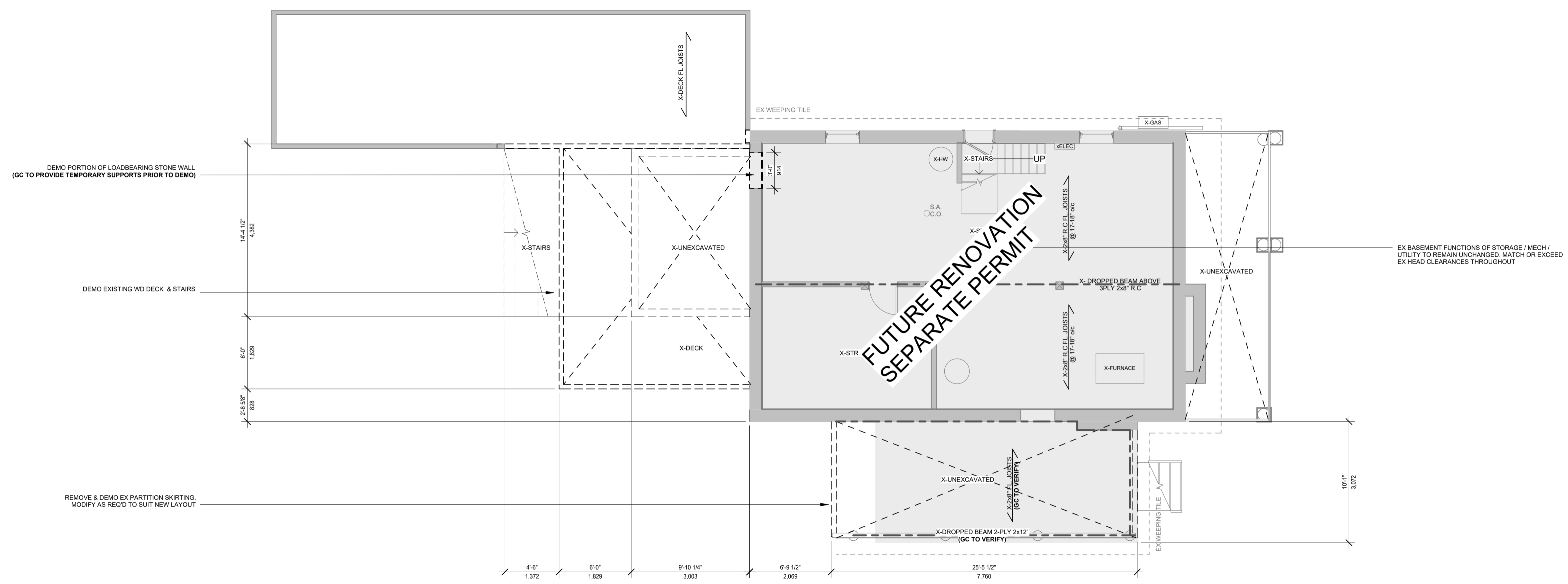
Maibec genuine wood -
Shingles
in color Green to match board
and batten
- or equivalent -



Maibec genuine wood -
Shingles
in color Brown
- or equivalent -

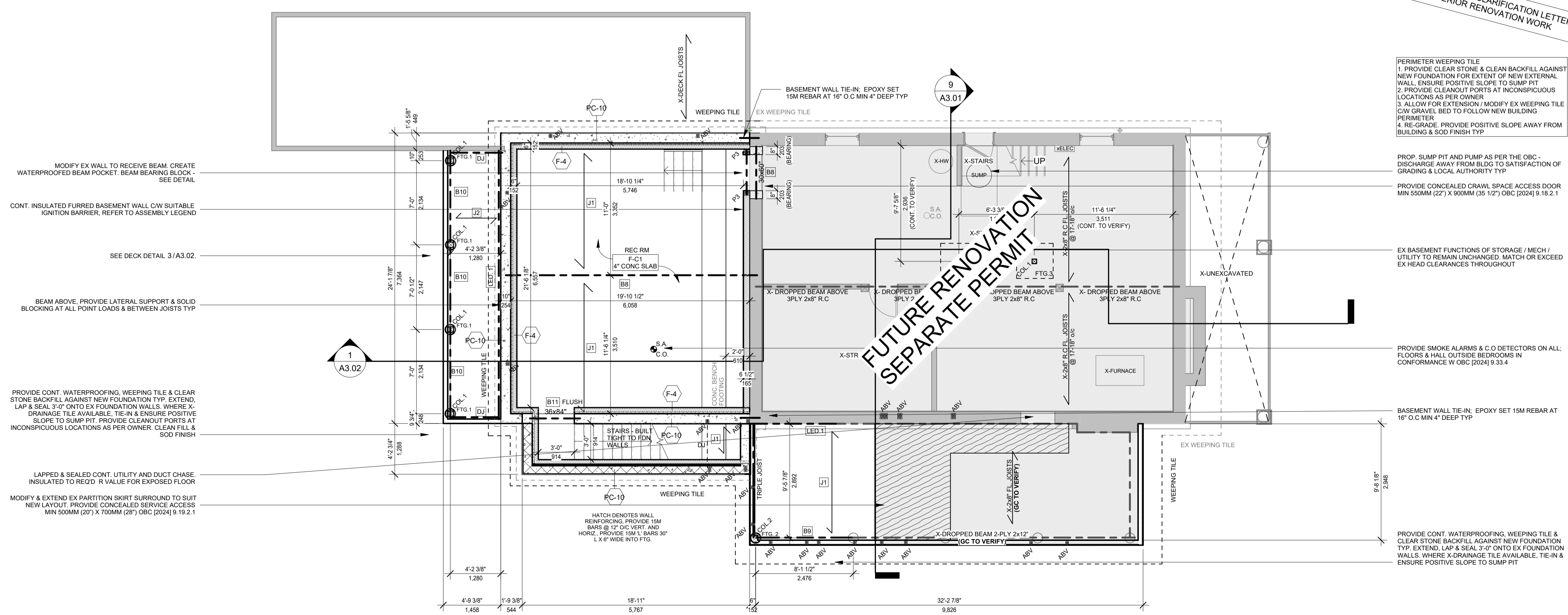


Maibec Vertical Engineered
Board and Batten - or
equivalent -
in color green to match green
shingle siding in gable.
- or equivalent -



2 LVL0 DEMO
3/16" = 1'-0"

REFER TO ATTACHED CLARIFICATION LETTER FOR SCOPE OF INTERIOR RENOVATION WORK



3 LVL0 PLAN
3/16" = 1'-0"

PERIMETER WEEPING TILE
1. PROVIDE CLEAR STONE & CLEAN BACKFILL AGAINST NEW FOUNDATION FOR EXTENT OF NEW EXTERNAL WALL. ENSURE POSITIVE SLOPE TO SUMP PIT
2. PROVIDE CLEANOUP PORTS AT INCONSPICUOUS LOCATIONS AS PER OWNER
3. ALLOW FOR EXTENSION / MODIFY EX WEEPING TILE ON GRAVEL BED TO FOLLOW NEW BUILDING PERIMETER
4. RE-GRADE. PROVIDE POSITIVE SLOPE AWAY FROM BUILDING & SOD FINISH TYP

PROP. SUMP PIT AND PUMP AS PER THE OBC - DISCHARGE AWAY FROM BLDG TO SATISFACTION OF GRADING & LOCAL AUTHORITY TYP

PROVIDE CONCEALED CRAWL SPACE ACCESS DOOR MIN 500MM (20") X 900MM (35 1/2") OBC [2024] 9.18.2.1

EX BASEMENT FUNCTIONS OF STORAGE / MECH / UTILITY TO REMAIN UNCHANGED. MATCH OR EXCEED EX HEAD CLEARANCES THROUGHOUT

PROVIDE SMOKE ALARMS & C.O DETECTORS ON ALL FLOORS & HALL OUTSIDE BEDROOMS IN CONFORMANCE W OBC [2024] 9.33.4

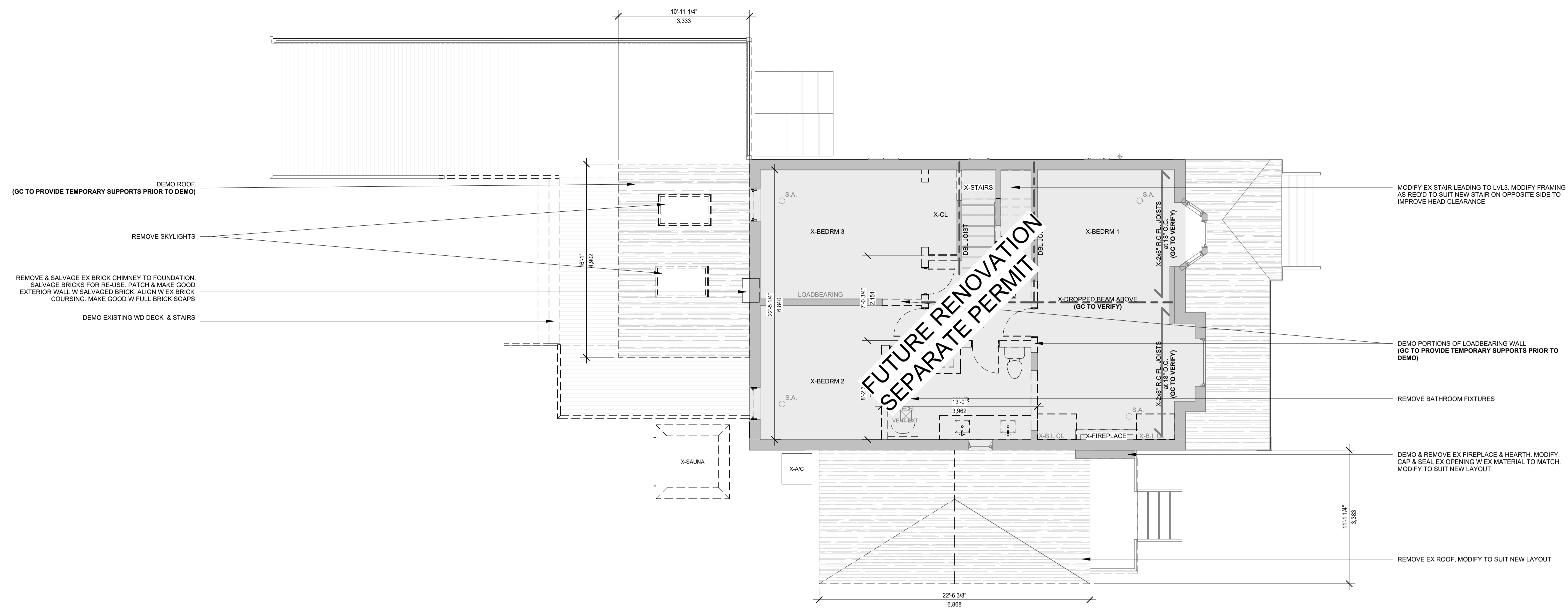
BASEMENT WALL TIE-IN: EPOXY SET 15M REBAR AT 16\"/>

PROVIDE CONT. WATERPROOFING, WEEPING TILE & CLEAR STONE BACKFILL AGAINST NEW FOUNDATION TYP. EXTEND, LAP & SEAL 3'-0\"/>

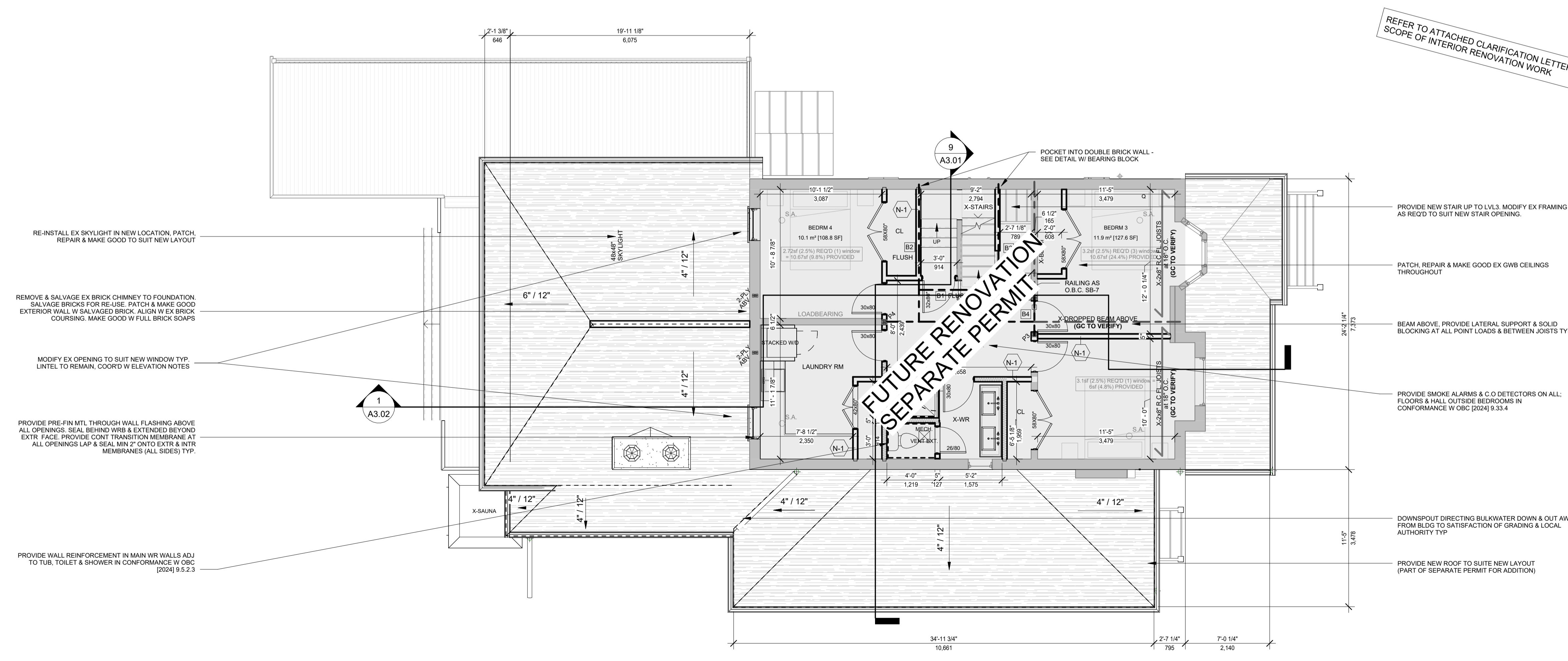
LEGEND

- OUTSIDE PRIMARY SCOPE OF WORK
- EX-WALL TO REMAIN
- GLAZING
- EXISTING ITEM (WALL, WINDOW, FIXTURE, MILLWORK, ETC.) TO BE REMOVED
- X-DOOR & FRAME TO REMAIN
- X-DOOR & FRAME TO BE REMOVED





1 LVL2 DEMO
3/16" = 1'-0"

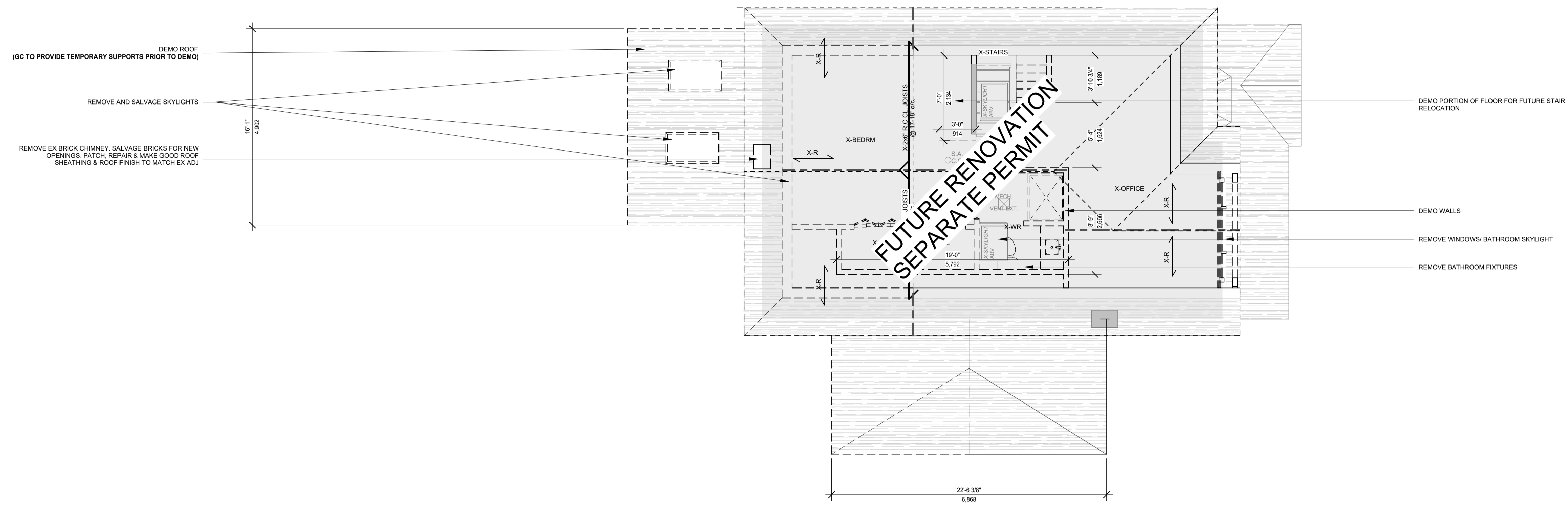
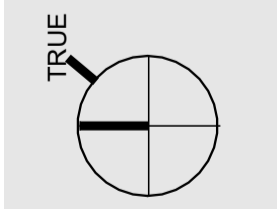


3 LVL2 PLAN
3/16" = 1'-0"

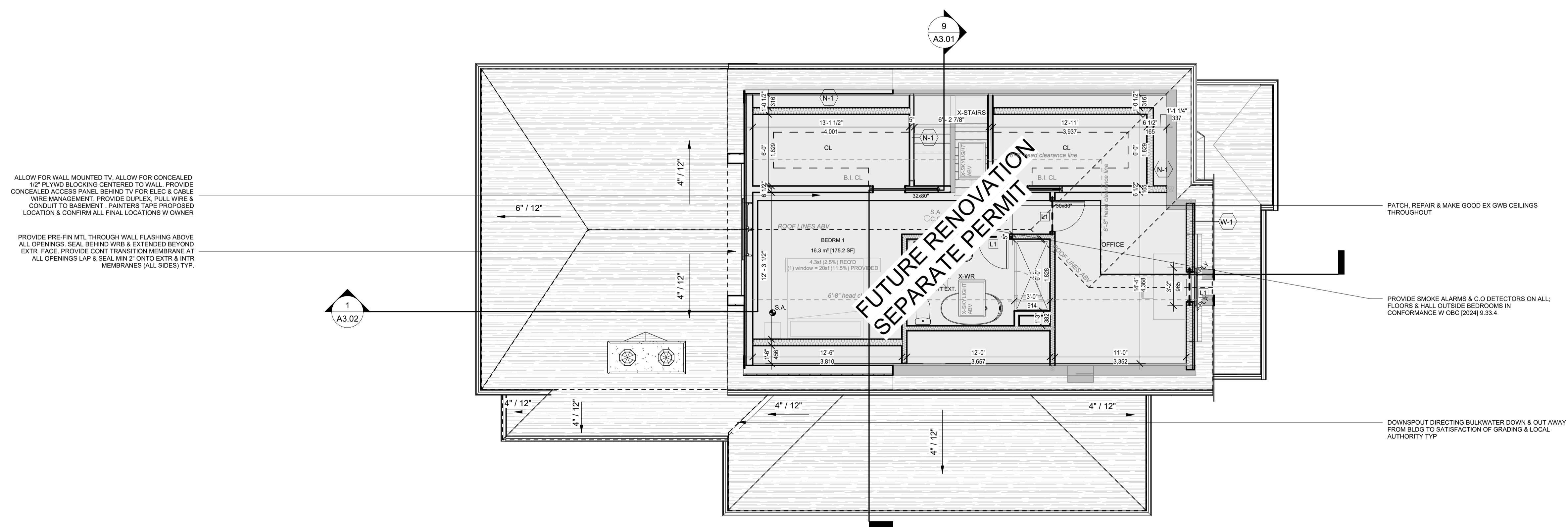
REFER TO ATTACHED CLARIFICATION LETTER FOR SCOPE OF INTERIOR RENOVATION WORK

- LEGEND**
- OUTSIDE PRIMARY SCOPE OF WORK
 - EX-WALL TO REMAIN
 - GLAZING
 - EXISTING ITEM (WALL, WINDOW, FIXTURE, MILLWORK, ETC.) TO BE REMOVED
 - X-DOOR & FRAME TO REMAIN
 - X-DOOR & FRAME TO BE REMOVED





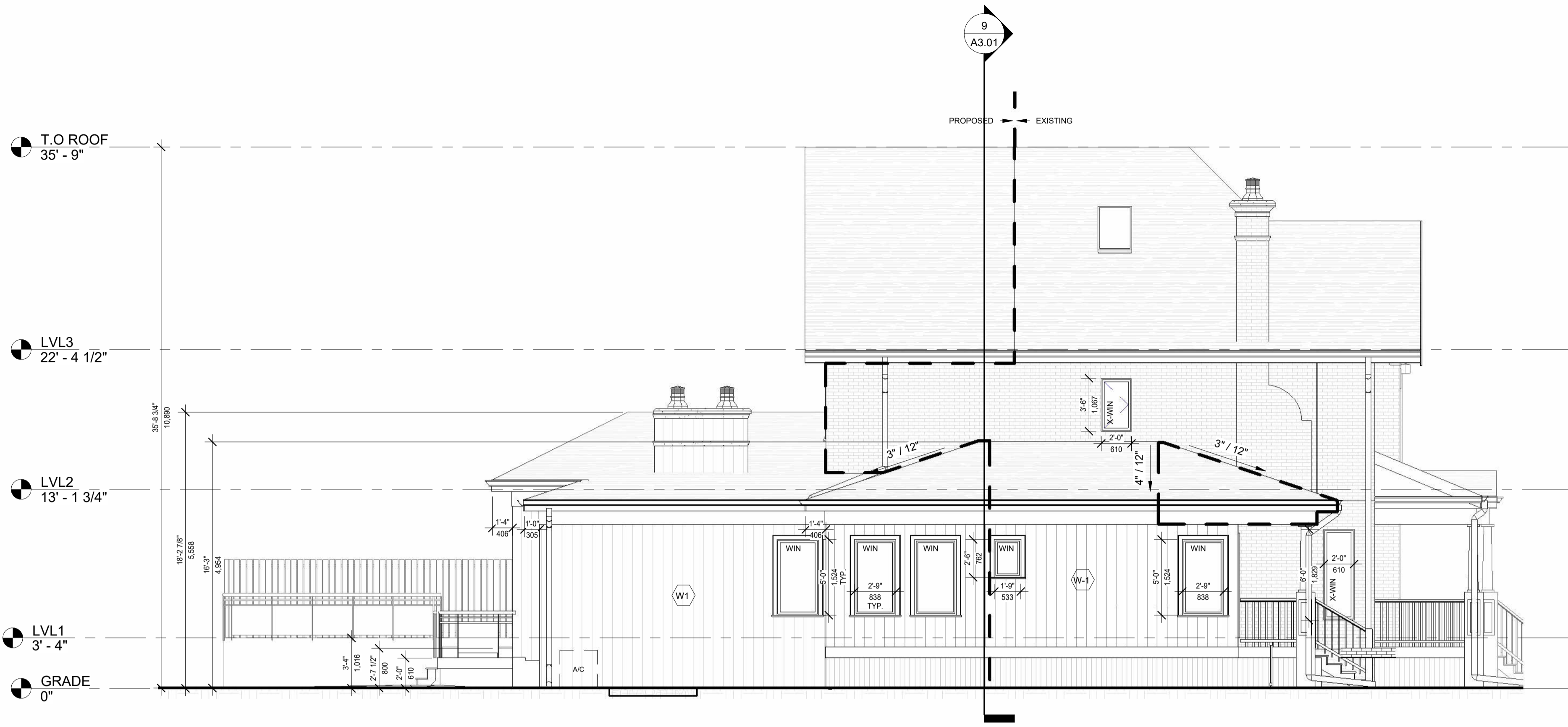
1 LVL3 DEMO
3/16" = 1'-0"



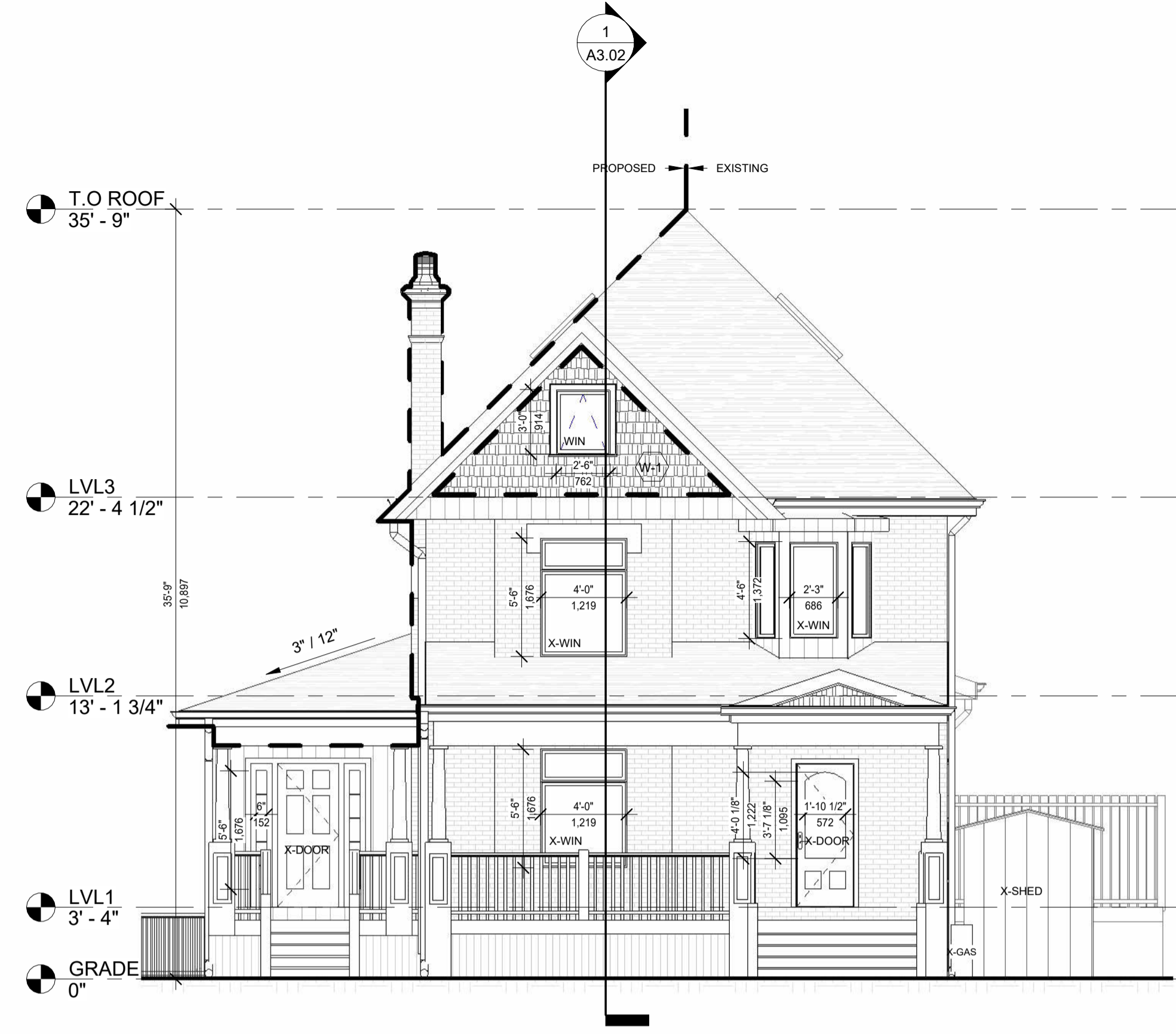
2 LVL3 PLAN
3/16" = 1'-0"

- LEGEND**
- OUTSIDE PRIMARY SCOPE OF WORK
 - EX-WALL TO REMAIN
 - GLAZING
 - EXISTING ITEM (WALL, WINDOW, FIXTURE, MILLWORK, ETC.) TO BE REMOVED
 - X-DOOR & FRAME TO REMAIN
 - X-DOOR & FRAME TO BE REMOVED

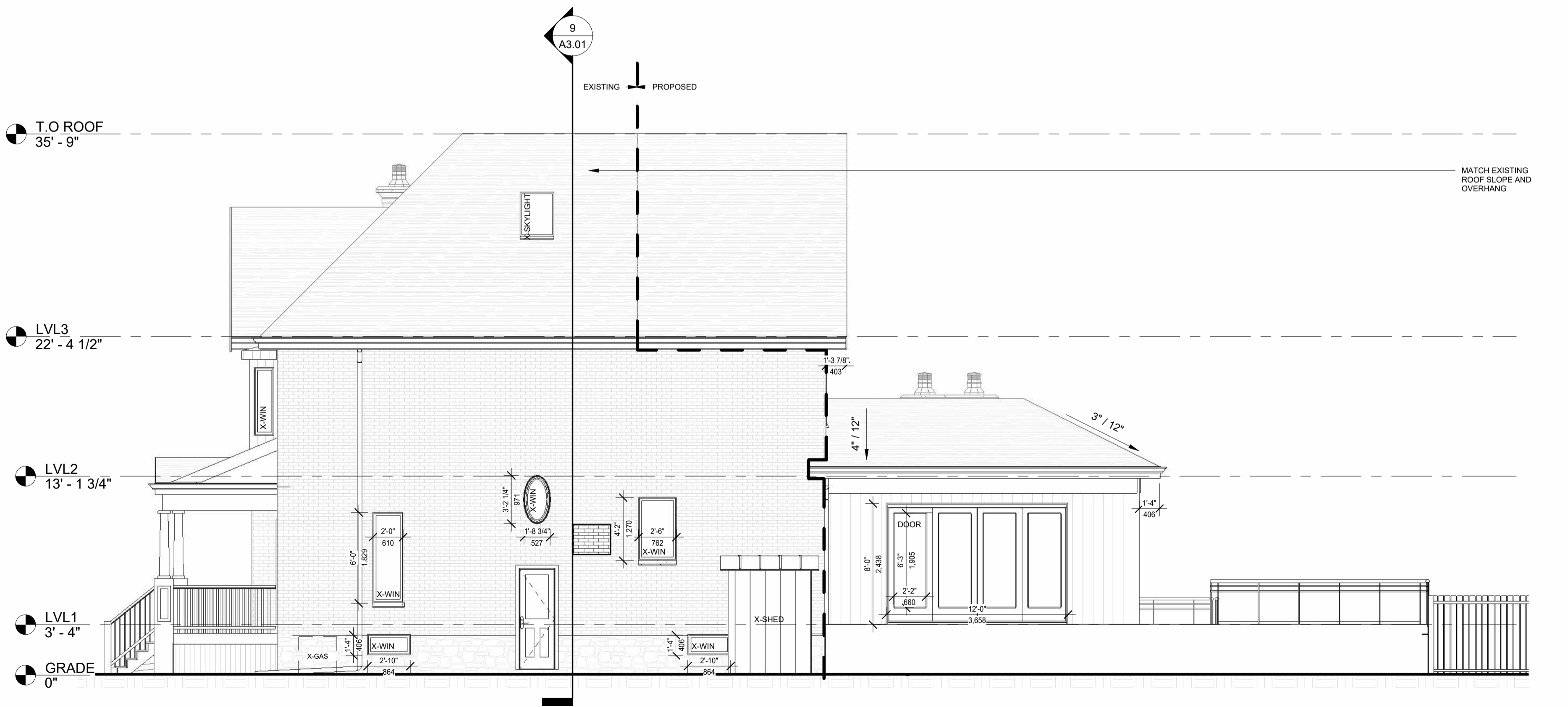




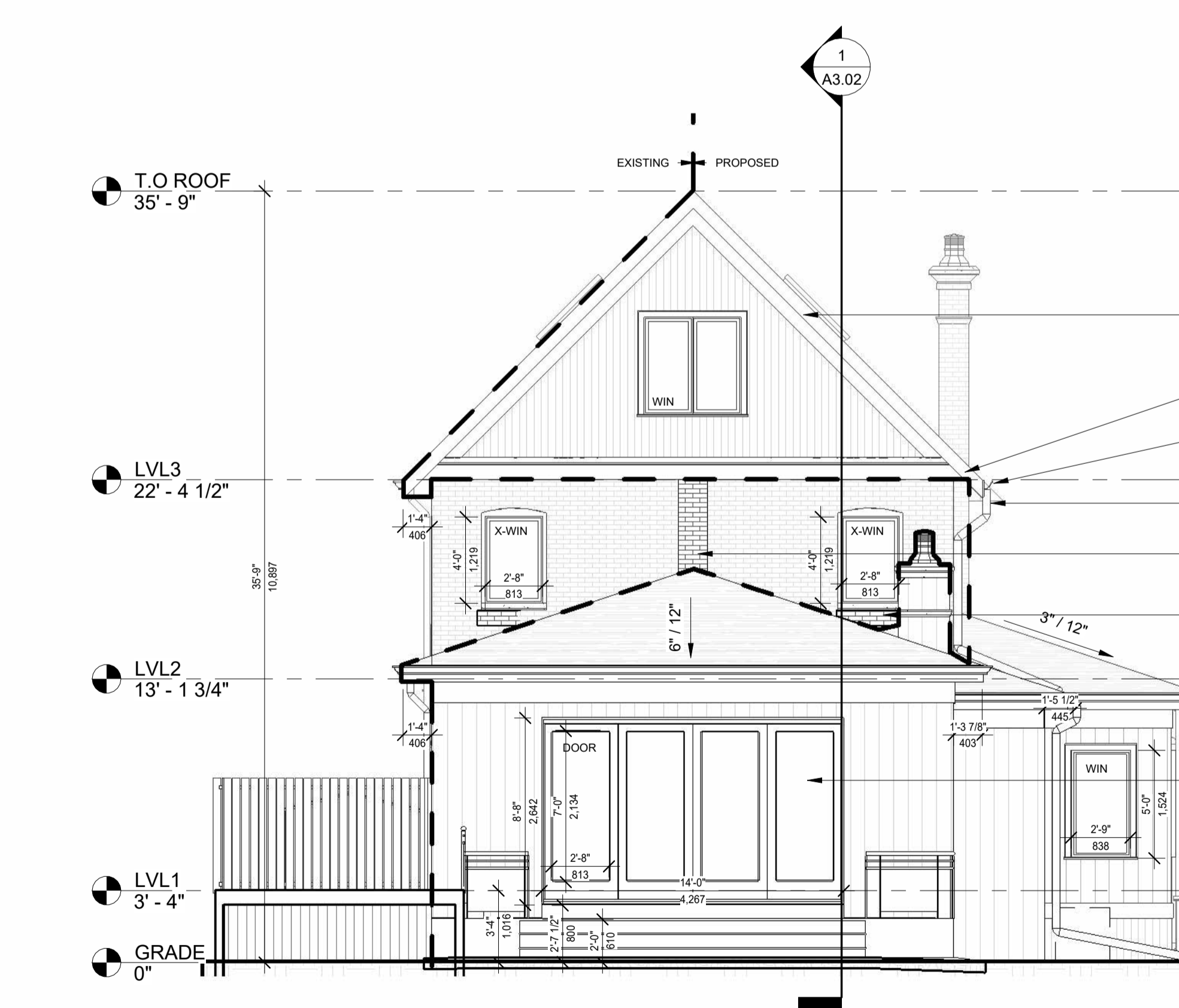
④ EXTR ELEV SIDE (DRIVE)
3/16" = 1'-0"



③ EXTR ELEV FRONT
3/16" = 1'-0"



② EXTR ELEV SIDE
3/16" = 1'-0"



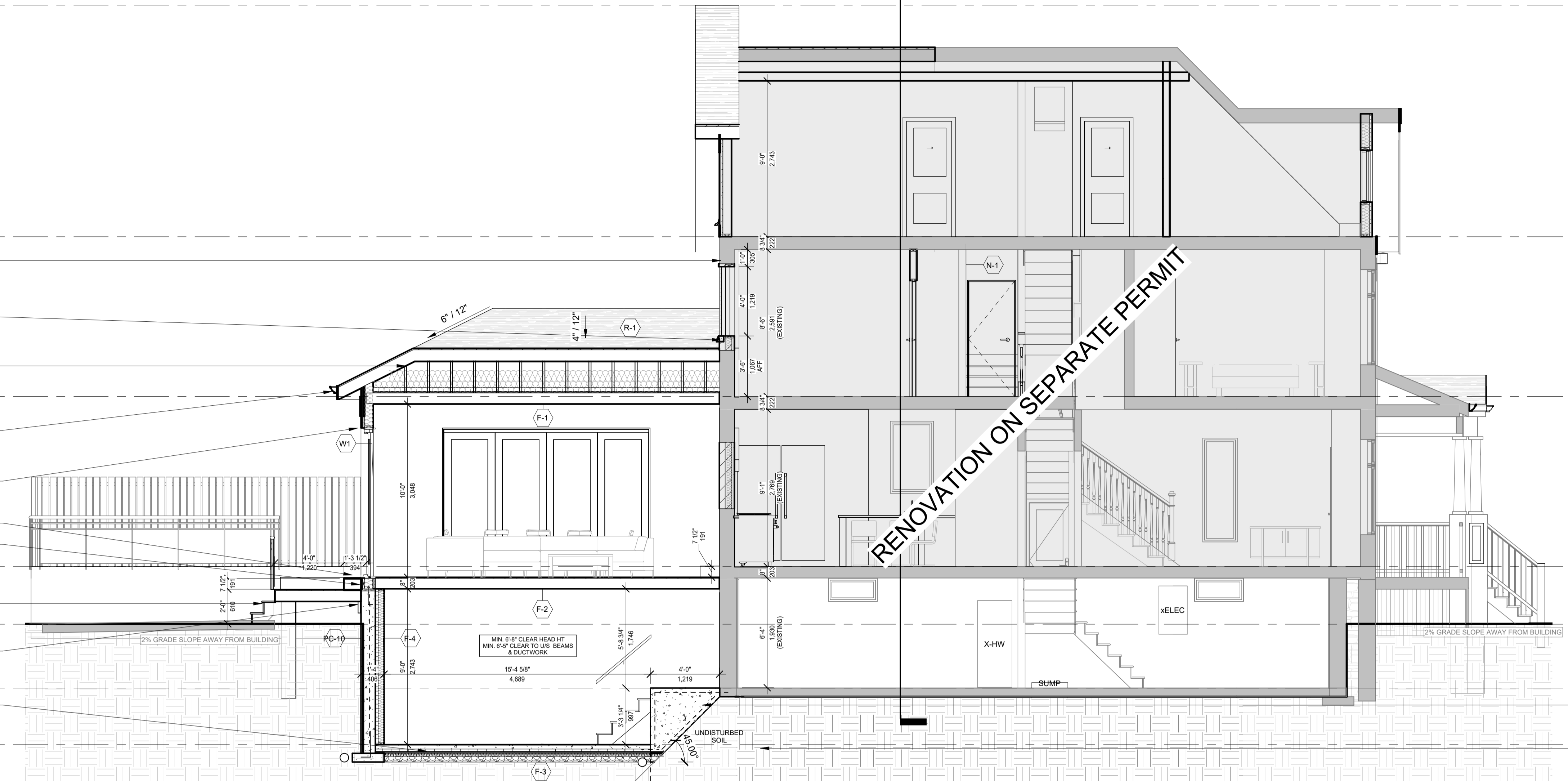
① EXTR ELEV REAR
3/16" = 1'-0"

- PROVIDE CONT. PREFIN. MTL. FASCIA & VENTED SOFFIT ALONG ALL LEAVES TYP
- PROVIDE ROOF VENTING IN CONFORMANCE W OBC (2024) 9.19.1.2 TYP
- 1'-4" PROP. OVERHANG & 5" GUTTER PROJECTION <math>< 600\text{mm}</math> Z 11-1/2" MAX ENCROACHMENT PERMITTED
- MODIFY EX DOWNSPOUTS TO SUIT NEW LAYOUT
- REMOVE EX CHIMNEY & INFILL
- MODIFY EX WINDOW OPENINGS TO SUIT NEW (SMALLER OPENINGS). SALVAGE & RE-INSTALL ALL SILLS AT NEW HEIGHT. INFILL W SALVAGED BRICK BELOW TO SUIT NEW HT. ALIGN W EX BRICK COURSING. MAKE GOOD W FULL BRICK SOAPS IF EX WRB EXISTS. SHINGLE LAP & SEAL BEHIND FOR CONT. DRAINAGE
- PROVIDE PREFIN. MTL THROUGH WALL FLASHING ABOVE ALL NEW OPENINGS. SEAL BEHIND WRB & EXTENDED BEYOND EXTR. FACE. PROVIDE CONT. TRANSITION MEMBRANE AT ALL OPENINGS LAP & SEAL MIN 2" ONTO EXTR. & INTR. MEMBRANES (ALL SIDES) TYP

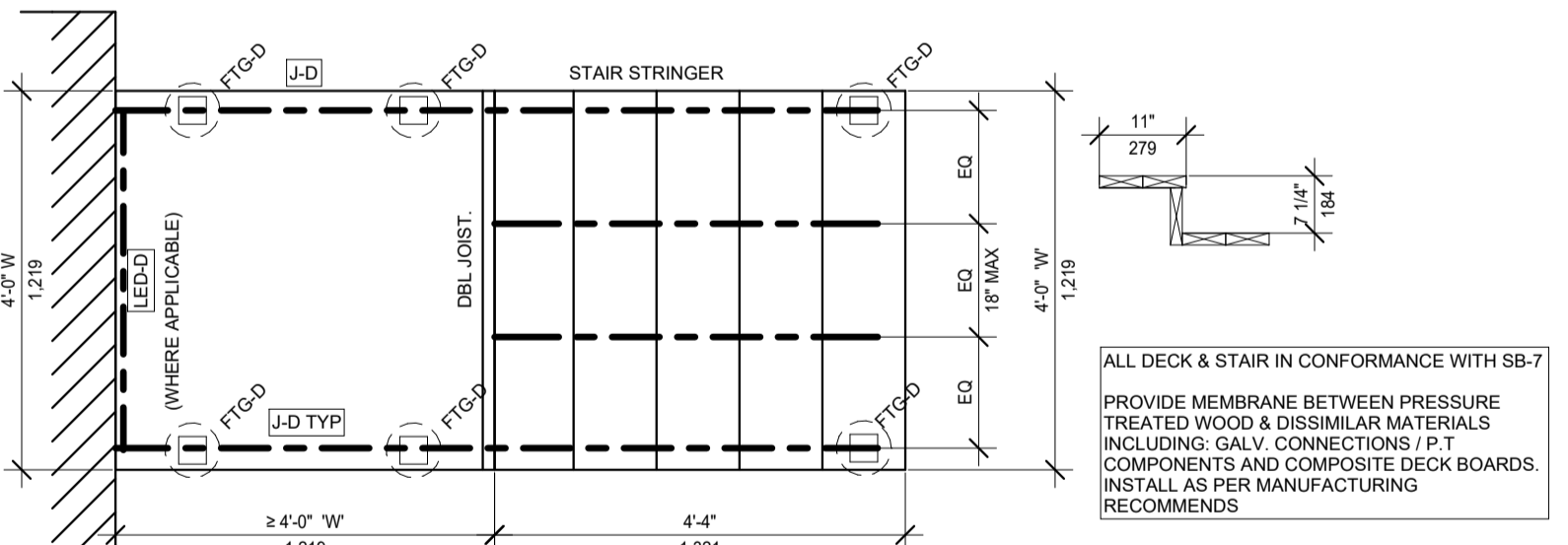
Spatial Separation - Construction of Exterior Walls					
Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Proposed Max. % of Openings	Proposed % of Openings
FRONT	48	8.5	N/A	100%	15.8%
SIDE	100	3.2	N/A	13%	9.5%
SIDE (DRIVE)	78	3.4	N/A	18%	10.2%
REAR	68	34.5	N/A	100%	17.8%



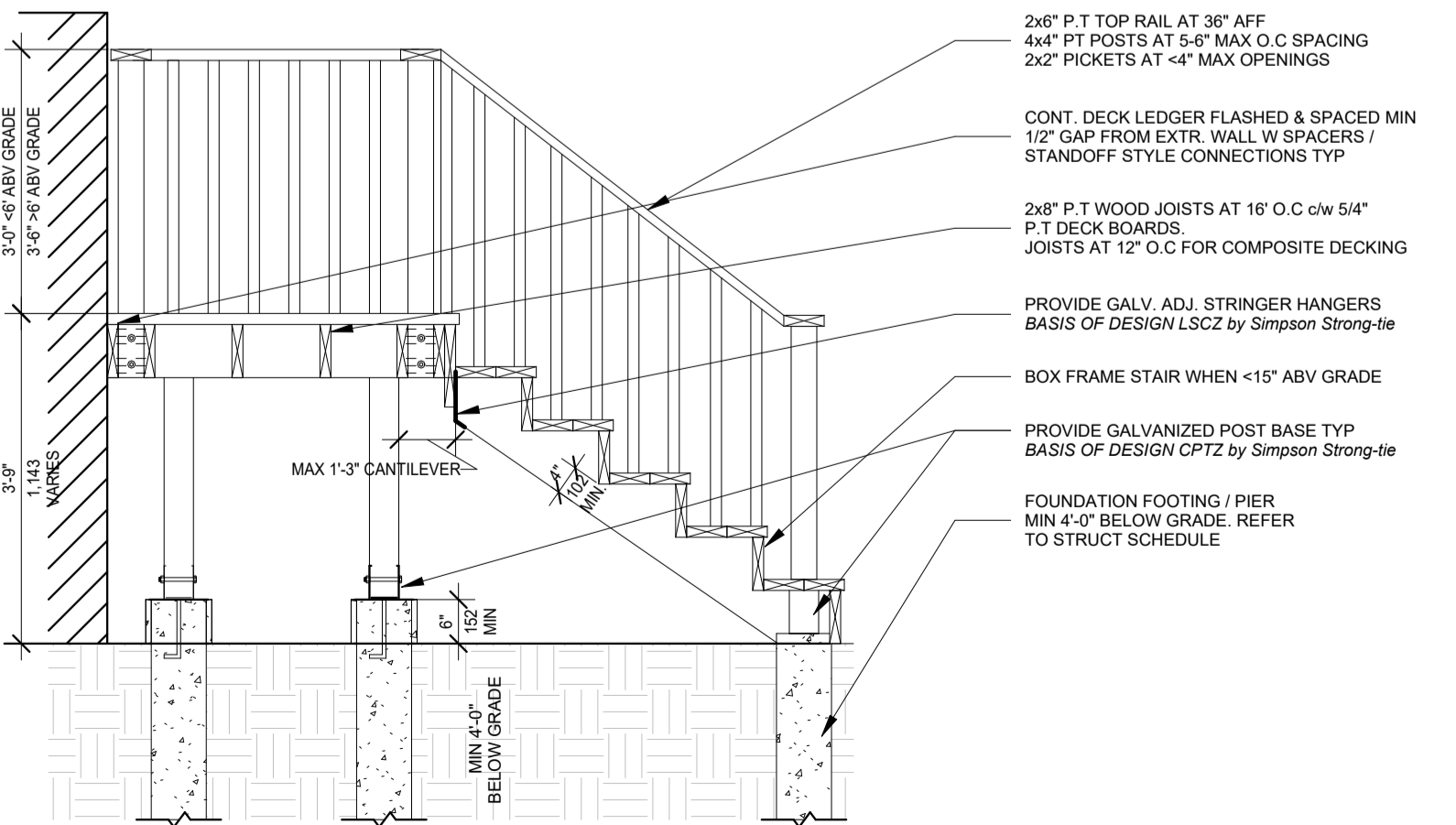
- LVL3**
22' - 4 1/2"
PROVIDE PRE-FIN MTL THROUGH WALL FLASHING ABOVE ALL NEW OPENINGS. SEAL BEHIND WRB & EXTENDED BEYOND EXTR. FACE. PROVIDE CONT. TRANSITION MEMBRANE AT ALL OPENINGS LAP & SEAL MIN 2" ONTO EXTR & INTR MEMBRANES (ALL SIDES) TYP. MODIFY EX WINDOW OPENINGS TO SUIT NEW (SMALLER OPENINGS). SALVAGE & RE-INSTALL SILLS AT NEW HEIGHT. INFILL W SALVAGED BRICK BELOW TO SUIT NEW HT. ALONG W EX BRICK COURSING. MAKE GOOD W FULL BRICK SOAPS. IF EX WRB EXISTS, SHINGLE LAP & SEAL BEHIND FOR CONT. DRAINAGE.
- LVL2**
13' - 1 3/4"
BIRDSMOUTH NOTCH EACH RAFTER & TOENAIL ANY BLOCKING MUST ALLOW AIR MOVEMENT TYP.
MODIFY EX EAVES TROUGHS TO SUIT NEW LAYOUT. ENSURE POSITIVE SLOPE TO DOWNSPOUTS. DRAIN AWAY FROM BLDG TO SATISFACTION OF GRADING & LOCAL AUTHORITY.
PROVIDE PRE-FIN MTL THROUGH WALL FLASHING ABOVE ALL NEW OPENINGS. SEAL BEHIND WRB & EXTENDED BEYOND EXTR. FACE. PROVIDE CONT. TRANSITION MEMBRANE AT ALL OPENINGS LAP & SEAL MIN 2" ONTO EXTR & INTR MEMBRANES (ALL SIDES) TYP.
PROVIDE 2 STAGGERED BEADS OF SEALANT ON CONT. BACK DAMMED PAN FLASHING AT ALL DOOR OPENINGS. DRAIN DOWN & OUT. EXTEND BEYOND EXTERIOR FACE TYP.
- LVL1**
3' - 4"
CUT & COBBLE BATT INSULATION & RIGID B/W JOIST BAYS. ALIGN RIGID TO VAPOR CONTROL LAYER. LAPPED & SEALED W TAPE. FOAM SEAL REMAINING SIDES IN PLACE.
- GRADE**
0"
SEE DECK DETAIL 3/A3.02.
- LVLO EX**
-3' - 8 1/4"
CONT. DECK LEDGER FLASHED & DRAINAGE GAPPED MIN 1/2" FROM EXTR. WALL W SPACERS / STANDOFF STYLE CONNECTIONS TYP.
- LVLO PLAN**
-6' - 11 1/2"
PROVIDE CONT. RIGID INSULATION UNDER SLAB & RETURN UP PERIMETER WALLS. TIE INTO BASEMENT WALL ASSEMBLY FOR CONT. THERMAL BREAK. REFER TO DETAIL.



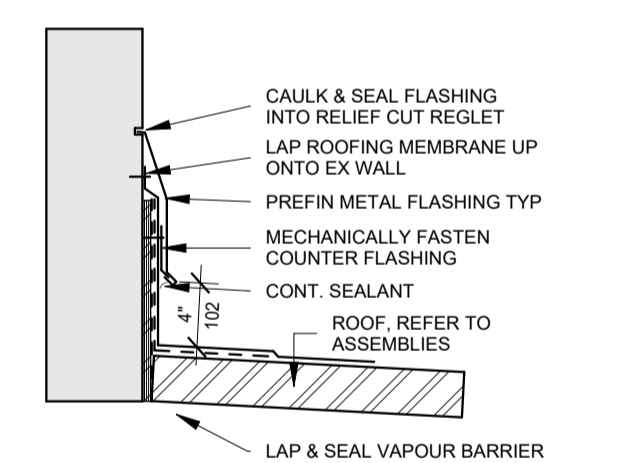
SECTION A-A
1/4" = 1'-0"



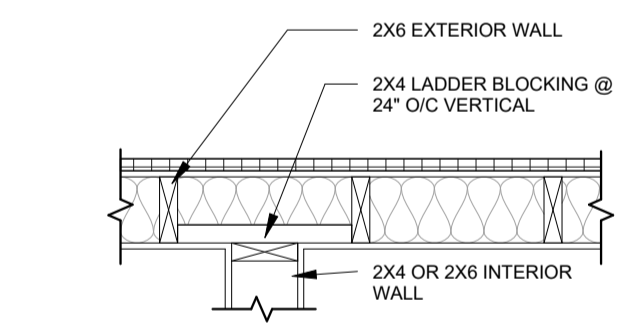
ALL DECK & STAIR IN CONFORMANCE WITH SB-7
PROVIDE MEMBRANE BETWEEN PRESSURE TREATED WOOD & DISSIMILAR MATERIALS INCLUDING GALV. CONNECTIONS / P1 COMPONENTS AND COMPOSITE DECK BOARDS. INSTALL AS PER MANUFACTURING RECOMMENDS.



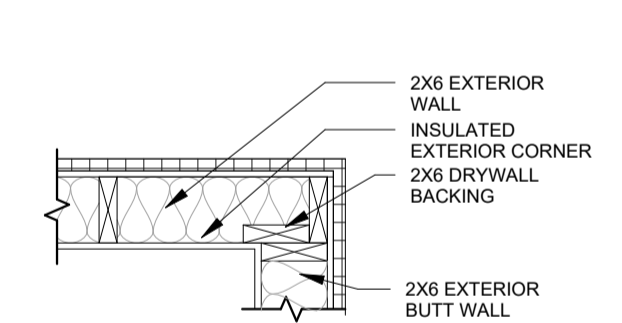
DECK - STAIR AND LANDING
1/2" = 1'-0"



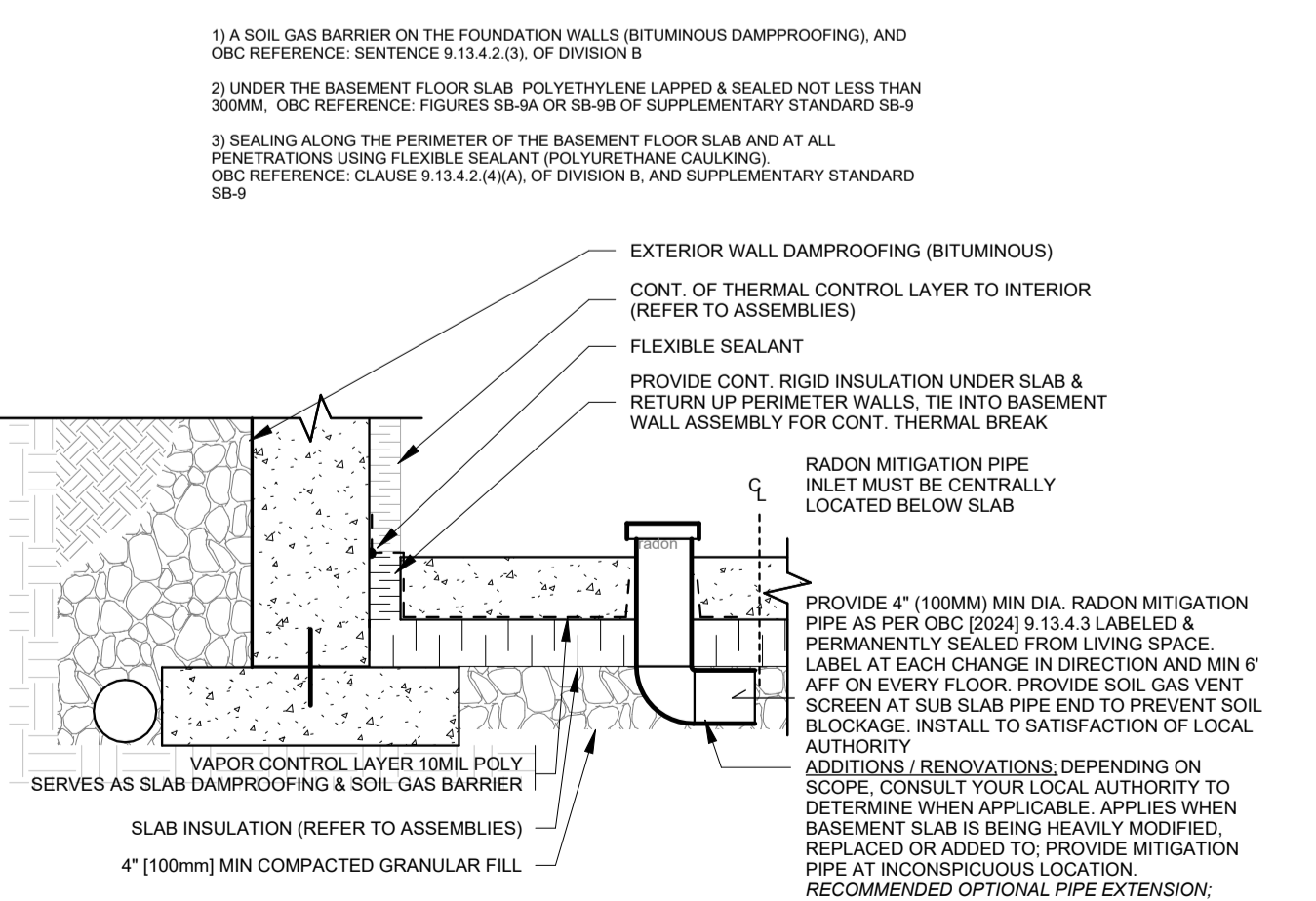
ROOF DETAIL REGLET & LAPPED FLASHING
1" = 1'-0"



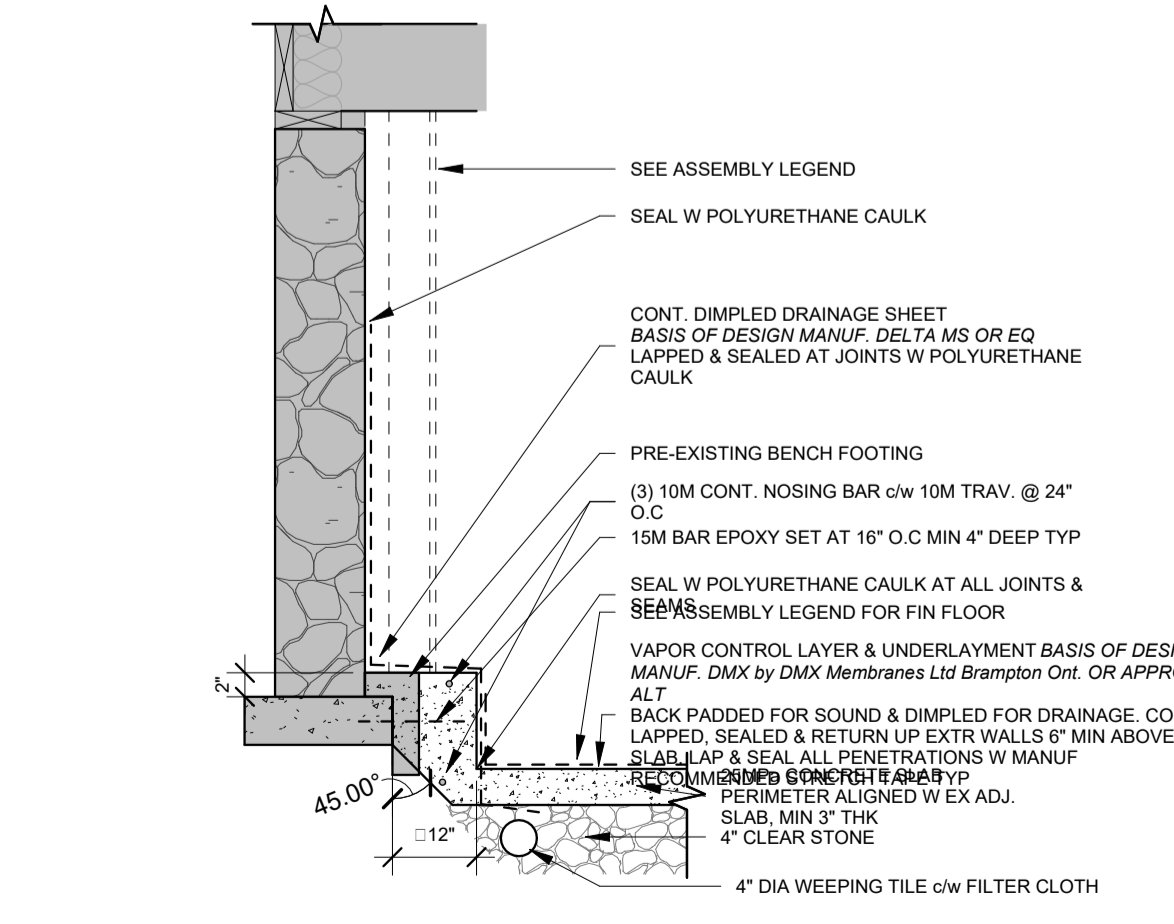
WD LADDER BLOCKING - PLAN DETAIL
3/4" = 1'-0"



WD THREE STUD CORNER - PLAN DETAIL
3/4" = 1'-0"

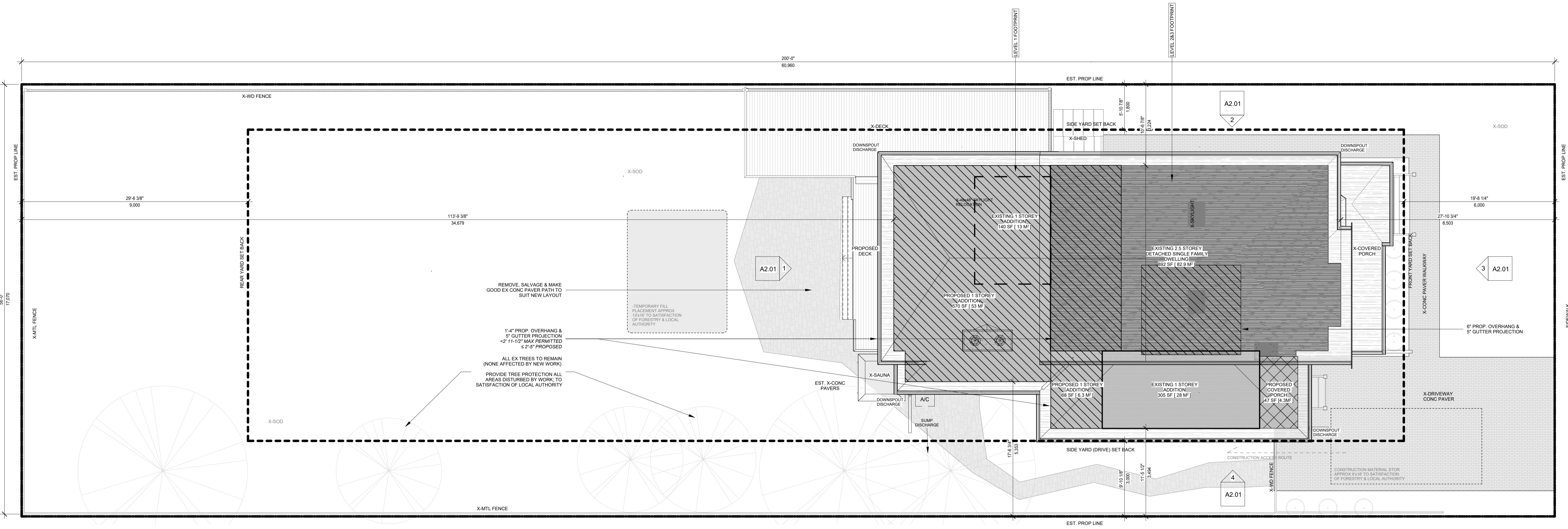


FDN RADON GAS DETAIL W THERMAL BREAK
1" = 1'-0"

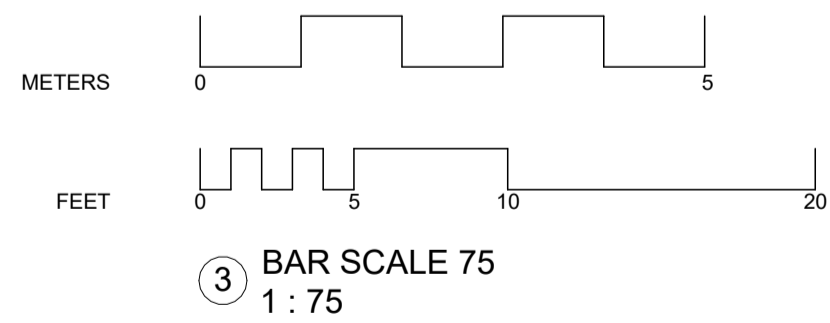


FDN BENCH DETAIL EXTR. WALL STONE W EX BENCH
3/4" = 1'-0"



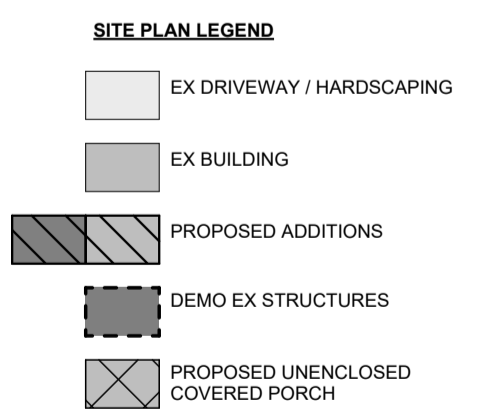


1 SITE PLAN
1 : 75



SITE STATISTICS		
ZONING DESIGNATION = DRL	PERMITTED	PROVIDED
LOT AREA	≥25m ² minimum	1944 m ² EX UNCHANGED
LOT FRONTAGE	15m minimum	17m EX UNCHANGED
FRONT YARD SETBACK	6m	6.2m EX UNCHANGED
SIDE YARD SETBACK	1.8m	3.2m EX UNCHANGED
SIDE YARD SETBACK (DRIVE)	3m	3.5m EX UNCHANGED
REAR YARD SETBACK	8m	34.5m EX UNCHANGED
BUILDING HEIGHT	14m	±10.88m EX UNCHANGED

LOT COVERAGE SUMMARY:		
LOT AREA: 1046 m ² , 11,261.45 sf	EX UNCHANGED	EXISTING PROPOSED
EX BUILDING AREA:	115 m ²	452.5 m ²
LOT COVERAGE DWELLING:	10.9%	15.5%
LOT COVERAGE ACCESSORY:	0%	EX UNCHANGED
LOT COVERAGE TOTAL:	15.5%	
FRONT YARD LANDSCAPE:	50%	EX UNCHANGED



ALL PROPOSED WORK MEETS CRITERIA FOR ALTERATION & REPAIR AND STANDARD INTERIOR RENOVATION AND IN NO WAY CHANGES THE USE, FUNCTION OR CHARACTER OF THE BUILDING.
MAKE GOOD ALL SITE LOCATIONS DISRUPTED BY NEW WORK, PROVIDE SOD FINISH

