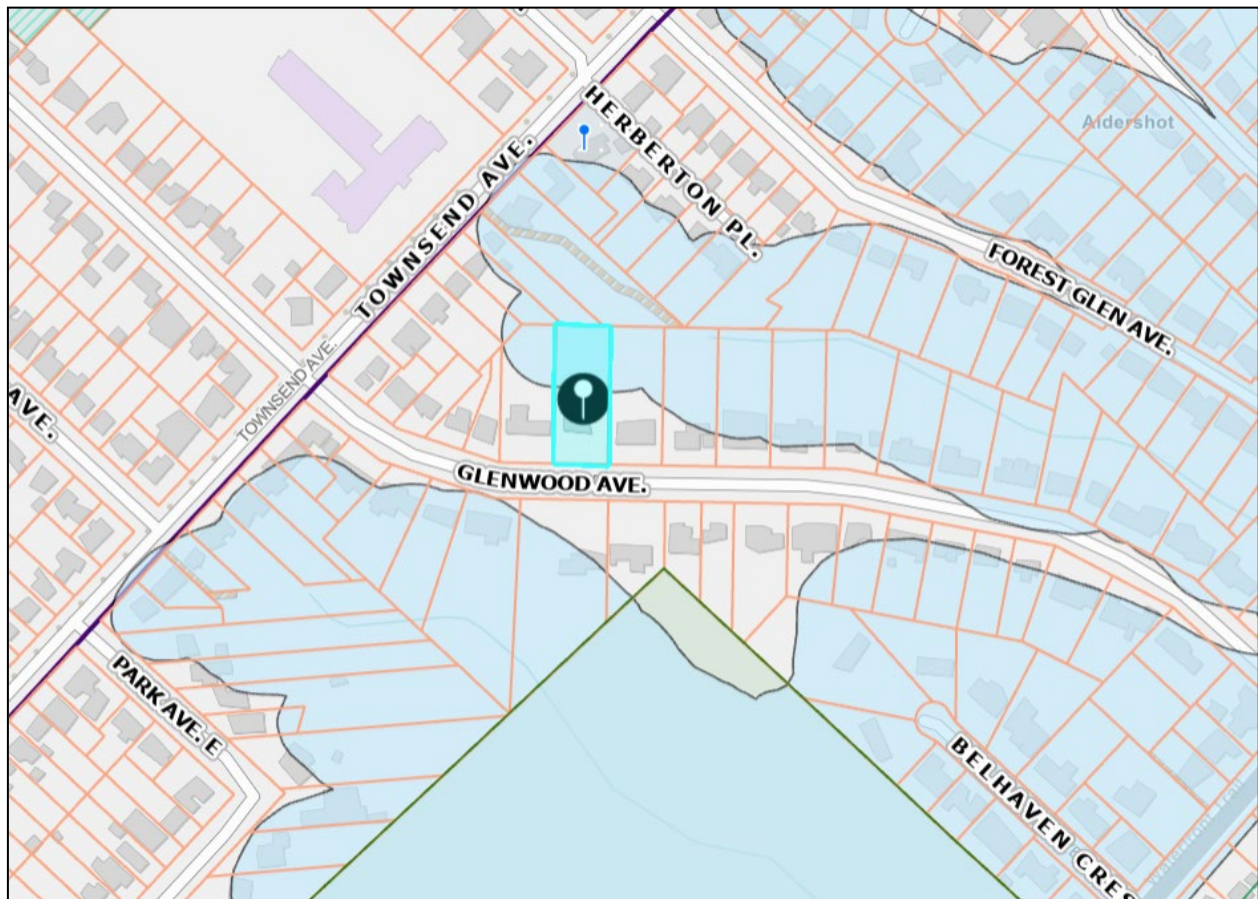


**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): 1000718612 Ontario Inc.
Address: 881 Glenwood Ave. Burlington, ON
File No. **A-066/25**
Ward: 1



Staff Comments

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: September 2, 2025

Prepared By: E. Shacklette

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Zoning

The subject property is zoned **R2.1**, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The **R2.1** zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R2 ZONES						
R2.1	18 m	700 m ²	11 m	10 m	(a)	4.5 m

Footnotes to Table 2.4.1

- (a) With attached garage or carport: 10% of actual lot width (30.48m x 10% = 3.048m)

4.6 DWELLING DEPTH

- (a) **Maximum depth of a dwelling shall be 18m measured from building wall closest to front lot line to building wall closest to rear lot line.**

4.8 GARAGES

- (b) **An attached garage with a garage door facing a street is not permitted to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.**

2.31 RESIDENTIAL BUILDING HEIGHT (Part 1)

A) R1, R2, R3, R4 Zones					
Peaked Roof Dwellings	Building Height Maximum				
Detached Semi-Detached Cluster	1 storey to 7.5 m	1 ½ storey to 8.5 m	2 storey to 10 m	2 ½ storey N/A	N/A

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

- (a) The following obstructions may project **50 cm maximum into a side yard** and 1 m maximum into any other yard from the wall of the building:

chimney	pilaster	belt course	roof overhang (excluding eave or gutter)
sill	lintel	cornice	ornamental projection

2.24 DRIVEWAY WIDTHS AND LANDSCAPED OPEN SPACE AREA (Part 1)

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- 4) Unless otherwise specified in this by-law, the following combined maximum width of all hard surfaces (driveways plus walkways) and landscaped open space area requirements shall apply for detached, semi-detached, duplex, triplex, fourplex, common element townhouse, common element back-to-back townhouse, and street townhouse dwellings:
- (f) Circular Driveways are permitted subject to the following:
 - (i) Front or street side lot lines are equal to or greater than 21 m in width.
 - (ii) Must be located in a front or street side yard.
 - (iii) Maximum width of a walkway shall be 2 m.**
 - (iv) The combined width of the two points of access shall not exceed a maximum width of 9 m.
 - (v) The widest point beyond circular driveway shall not exceed a maximum width of 9 m.
 - (vi) Minimum 8 m of landscape open space between access points.

2.2 ACCESSORY BUILDINGS AND STRUCTURES AND UNITARY EQUIPMENT

2.2.1 The following regulations shall apply to buildings and structures, when accessory to detached, semi-detached, duplex, triplex, fourplex or street townhouse dwellings:

- (b) Regulations for Accessory Building greater than 10 m² in floor area and/or greater than 2.5 m in height:
 - (iii) Permitted in a rear yard subject to the following:
 - Setback from a rear lot line: 1.2 m
 - Setback from a side lot line: 1.2 m
 - Setback from a street side yard: 7.5 m
 - **Maximum roof overhang encroachment: 0.5 m**
 - Maximum floor area: 50 m²
 - Maximum one storey
 - Maximum height (peaked roof): 4.6 m
 - Maximum height (flat roof): 3.5 m

Proposal:

The applicant is proposing the construction of a two-storey detached dwelling with attached garage and rear screened-in porch. Proposal also includes a circular driveway and a rear yard accessory building.

Variations required:

1. To permit a building height of 10.1 m instead of the maximum permitted 10.0 m for a proposed two storey dwelling with a peaked roof.

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-
2. To permit a dwelling depth of 20.3 m instead of the maximum permitted 18 m measured from building wall closest to front lot line to the building wall closest to the rear lot line for a proposed two storey dwelling with attached garage.
 3. To permit a proposed attached garage to project 2.2 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.
 4. To permit a north-west side yard encroachment of 0.6 m instead of the maximum permitted projection of 0.5 m measured from the wall of the building for a proposed roof overhang excluding eaves and gutter.
 5. To permit a 1.1 m roof overhang encroachment instead of the maximum permitted 0.5 m for a proposed one storey accessory building in the rear yard.
 6. To permit a 3.7 m walkway width whereas Zoning Bylaw 2020 permits a maximum walkway width of 2 m in combination with a circular driveway.

Condition:

1. The applicant shall apply for a Pre-Building Approval application.

Notes:

1. Conservation Halton approval is required.
2. Variances have been identified based on the plans submitted for zoning review. If additional variances are identified when a Pre-Building Approval is made, they will be the responsibility of the applicant to obtain.
3. This approval does not include an Additional Residential Unit.
4. The variances are being reviewed under Section 45(1) of the Planning Act.

Date: 9 February 2026Prepared By: Erin Ruby**Site Planning**

Site Characteristics	
Lot Frontage (m)	30.48 m
Lot Area (m²)	2375.31 m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Two storey detached dwelling without an attached garage; existing driveway; board

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	and chain link fence.
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Flat at the front and sloping in the rear towards the CH regulated area
Notable Site Features	The rear of the property slopes downward towards a creek and CH regulated lands
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Low-rise residential
Nearest Major Intersection	Plains Road East and Lasalle Park Road
Neighbourhood Boundaries* *Based on OP, 1997 residential neighbourhood definition	North: Plains Road East East: Burlington Golf and Country Club South: Lake Ontario West: Lasalle Park Road

Neighbourhood Characteristics:

- The surrounding neighbourhood is characterized by a mix of one-storey dwellings, one-and-a-half-storey homes, and larger two-storey detached dwellings. Several properties appear to have been redeveloped or significantly renovated over time, resulting in a varied dwelling character while maintaining a low-rise residential form. The presence of newer two-storey dwellings within the streetscape demonstrates that taller built forms are not uncommon in the area.
- Rooflines throughout the neighbourhood are predominantly pitched, including gable, cross-gable, and dormer forms. These roof configurations visually reduce perceived building mass and contribute to a residential character common in the area. Even where dwellings are larger or two storeys in height, the use of peaked roof forms, gabled façades, and projections maintains compatibility with the existing streetscape.
- Properties within the neighbourhood generally feature large lot frontages and deep front yards with expansive landscaped areas. Mature trees and established vegetation are prominent throughout the street, contributing to a spacious and well-treed character and providing natural buffering between neighbouring properties.
- Dwelling footprints and building depths vary across the neighbourhood, reflecting both original construction patterns and incremental redevelopment. Several homes exhibit substantial building footprints and rear additions, resulting in deeper dwellings while maintaining generous yard areas due to the large lot sizes typical of the area.
- Garage configurations throughout the neighbourhood vary considerably, including attached garages integrated into the main building mass, garages that project forward of the dwelling façade, and garages incorporated into redeveloped homes. Driveways are typically wide and often accommodate multiple vehicles, with some properties featuring circular driveways or expanded driveway configurations.

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- Walkways, driveways, and landscaped entrance features frequently occupy a significant portion of the front yard area. Circular driveways and wider driveway entrances are present along the street, reflecting the larger lot sizes and accommodating multiple vehicles while maintaining landscaped front yards.
- Accessory structures and landscaped yard features are also present on some properties, including detached garages, garden structures, and landscaped elements, reflecting the spacious rear yards and the overall low-density residential character of the neighbourhood.

A site visit was conducted on March 5, 2026, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that detached dwellings are permitted by the City's Zoning By-law, staff are of the opinion that the requested variances meet the general intent and purpose of the ROP.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

Official Plan, 1997 & 2020

Parts of the Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal/variances meet the general intent and purpose of the Official Plan for the following reasons:

- The proposed use is consistent with the property's 'Low-Rise Neighbourhoods I' designation under Schedule 'C'/Schedule 'B' (Land Use - Urban Area/Comprehensive Land Use Plan- Urban Planning Area) of the BOP,

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1997/BOP, 2020, as amended, which permits ground-oriented, low-density housing, and where compatible infill, small-scale additions, and renovations are encouraged.

- Whereas General Objectives for Residential Neighbourhood Areas under Section 8.3.1 of the BOP, 2020 directs that new development “be balanced with other planning considerations” and achieve “compatibility and integration within existing residential neighbourhoods” (a), while considering the “surrounding *physical character*”, the proposal is consistent with these objectives in the following ways:
 - The proposed dwelling maintains compatibility with the surrounding neighbourhood through the use of pitched rooflines, gable forms, and varied roof planes, which are consistent with the predominant roof configurations observed on surrounding dwellings. The building form incorporates stepped roof slopes, porch projections, and a reduced second-floor footprint relative to the ground floor, which break up the overall building mass and reflect the low-rise residential character of the area.
 - The proposed footprint is generally aligned with the established siting pattern along Glenwood Avenue and the abutting southerly property, maintaining the prevailing streetscape rhythm and front yard relationship while accommodating a circular driveway configuration consistent with other larger residential properties in the neighbourhood.
 - The design balances building projections at the front façade, with the garage projection on one side visually offset by the front porch projection on the other, creating a symmetrical and articulated streetscape presence that reduces the perceived massing of the dwelling when viewed from the street.
 - The rear building massing is similarly moderated through dwelling articulation. While a projection is provided to accommodate the dining area, the extension is centrally located and visually balanced by covered porch elements on either side, reducing the perceived depth of the building.
 - The second-floor footprint is reduced relative to the ground floor, minimizing the massing of the dwelling and helping to maintain compatibility with the scale of surrounding residential development.
 - The roof design incorporates multiple gables and intersecting rooflines, which break up the building mass and reinforce the established residential character observed throughout the neighbourhood.
 - The requested roof projection variance results from a minor increase to a roof overhang measuring approximately 0.508 m (rounded to 0.6 m for zoning purposes), which arises from a reduced wall projection beyond the chimney and represents a change that does not materially alter the building form or create adverse impacts.
 - With respect to building height, only the central ridge and the perpendicular ridge along the garage wing reach the proposed height of 10.1 m, while the remainder of the roof structure remains lower, ensuring

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that the building's overall perceived height is moderated through the use of varied roof planes. A row of tall columnar trees runs along the northerly property boundary, providing effective visual screening toward the immediately adjacent northerly dwelling, which is approximately one-and-a-half storeys in height and would otherwise be the property most directly affected by the modest increase in building height.

- The accessory structure incorporates a modest roof projection above the doorway that provides weather protection and elevation detailing. The projection is limited to the door area and is supported by brackets, resulting in a localized feature that does not materially increase the mass or footprint of the accessory structure.
- The proposal demonstrates a varied building form that reduces perceived massing through building setbacks, varied roof planes, and design detailing (columns, horizontal breaking of the façade with porch projections), ensuring the development remains compatible with the character of the neighbourhood while accommodating the requested minor variances.
- Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The requested height variance applies only to limited roof ridge elements, specifically the central ridge and the perpendicular ridge along the garage wing, while the remainder of the roof planes remain lower. Policy 8.3.3(1)(e)(i) of the Official Plan indicates that maximum building height should be comparable to the average height of abutting dwellings. While the permitted as-of-right height already exceeds the height of the immediately adjacent dwellings (approximately 1.5 storeys and approximately 8 m at 875 Glenwood Avenue), the requested variance does not significantly increase the perceived height of the dwelling when viewed from the street or neighbouring properties, as the majority of the roof area remains below the 10.0 m height threshold. As illustrated in the section drawing, the roof is articulated through multiple slopes and stepped roof planes from front to back, such that only the uppermost central ridge exceeds the 10.0 m height limit while the surrounding roof planes remain lower, thereby reducing the perceived overall building height and maintaining compatibility with the surrounding built form.

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2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – Residential building Height (Section 2.31)

The intent of the maximum building height provisions of Zoning By-law 2020 is to regulate the vertical scale of residential buildings to maintain compatibility with surrounding development, ensure appropriate building massing within residential neighbourhoods, and minimize potential impacts related to overlook, shadowing, and streetscape character. The requested variance is considered to maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The requested height increase pertains to the central roof ridge and the perpendicular ridge along the garage wing reaching 10.1 m, while the remainder of the roof planes remain below the 10.0 m permitted height.
- The additional height is attributable to the roof form rather than an additional storey or significant increase in building mass and therefore does not materially increase the perceived scale of the dwelling.
- The building incorporates multiple pitched roof planes with shallower rooflines that reduce the visual mass of the dwelling and ensure the height is concentrated only at limited ridge elements.
- Given the minimal nature of the increase and the overall roof design, the proposed dwelling continues to function as a two-storey low-rise residential building consistent with the intent of the height regulation.

Yes – Dwelling Depth (Section 4.6)

The intent of the maximum dwelling depth provisions of Zoning By-law 2020 is to regulate the massing and scale of residential buildings relative to lot size in order to maintain appropriate building proportions, ensure adequate rear yard areas, and reduce the visual and physical impacts associated with excessively deep building forms. Staff believe the requested variance (20.1 m vs. 18 m required) is consistent with the general intent and purpose of the Zoning By-law for the following reasons:

- The increased dwelling depth results primarily from a centrally located rear projection accommodating the dining area, which is visually moderated by covered porch elements on either side.
- The building mass is further reduced through the reduced second-floor footprint, which minimizes the perceived depth and bulk of the dwelling.
- The subject property is characterized by a large lot size and generous rear yard area, ensuring that adequate outdoor amenity space and separation from neighbouring properties is maintained.
- The proposed depth remains consistent with the scale of larger dwellings within the neighbourhood, where deeper building footprints are present to the size of lots and incremental redevelopment over time.

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Yes – Garage Projection (Section 4.8)

The intent of the garage projection provisions of Zoning By-law 2020 is to ensure that garages do not dominate the streetscape and that the front façade of dwellings maintains a pedestrian-oriented residential character. The requested variance is considered to maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The garage projection is balanced by a front porch projection on the opposite side of the dwelling thereby reducing the visual dominance of the garage when viewed from the street.
- The proposed design incorporates design detailing (columns, continuous porch roof projection) and varied building planes, ensuring that the garage remains integrated into the overall building form rather than appearing as a dominant element of the façade.
- Garage configurations within the neighbourhood vary and include attached garages that project forward of the main dwelling façade (e.g. 875, 885, 868, 862, 886, 885, 856, 817 Glenwood Avenue), indicating that the proposed condition is not uncommon within the streetscape.

Yes – Encroachment Into Yards (Section 2.13.1) and Roof Overhang of an Accessory Building (Section 2.2.1)

The intent of the yard encroachment provisions of Zoning By-law 2020 is to allow limited projections while ensuring that building elements do not significantly intrude into required yard setbacks or create impacts on neighbouring properties. Similarly, the roof encroachment provisions for accessory buildings are intended to regulate roof overhangs so that projections remain minor and do not materially expand the building footprint. The requested variances are considered to maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The roof projection associated with the principal dwelling results from a minor roof overhang measuring approximately 0.508 m (rounded to 0.6 m for zoning purposes) created by a reduced wall projection beyond the chimney. This represents a change that does not materially alter the building footprint or create impacts on adjacent properties.
- The accessory structure includes a roof overhang projection above the door area that functions primarily as design detailing and reflects the roof projections incorporated into the design of the principal dwelling. The projection is contained to the doorway area and supported by decorative brackets, and while it measures 1.1 m where 0.5 m is permitted, it does not materially increase the building mass or footprint of the accessory structure.
- The requested encroachments relate to design features rather than expanded floor area, ensuring that the required yard spaces remain largely unaffected.

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Yes – Walkway (Section 2.24)

The intent of the driveway width and landscaped open space provisions of Zoning By-law 2020 (Section 2.24) is to regulate the combined width of hard surfaces within the front yard in order to maintain adequate landscaped open space while accommodating driveway and pedestrian access. The by-law also permits circular driveways on lots with frontage greater than 21 m, subject to associated walkway width limits (2 m). The requested variance is considered to maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The increased walkway width is localized to a short section directly in front of the dwelling, where the walkway measures approximately 3.7 m at the jog before narrowing to approximately 2.438 m, which represents the majority of the walkway width along its length.
- The widened portion functions as an entry forecourt associated with the circular driveway configuration, facilitating pedestrian access to the dwelling while maintaining substantial landscaped front yard areas.
- Given the large lot frontage and retained landscaped areas, the requested variance does not undermine the intent of the by-law to limit excessive hard surface coverage within the front yard.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The proposed variances are desirable for the appropriate development of the land for the following reasons:

- The proposal facilitates the construction of a two-storey detached dwelling that is consistent with the established low-density residential character of the neighbourhood, where a mix of one-storey, one-and-a-half storey, and larger two-storey homes are present.
- The proposed dwelling incorporates varied building massing, varied roof forms, and design detailing that reduce the perceived scale of the building and maintain compatibility with the surrounding residential streetscape.
- The requested variances relate primarily to dwelling articulation, roof form, and site access configuration rather than a substantial increase in building footprint or density and therefore support an appropriate residential form of development for the property. A continuous row of tall columnar trees along the northerly property line provides natural visual buffering toward the adjacent northerly dwelling, which is approximately one-and-a-half storeys in height and would otherwise be the property most directly affected by the height increase.
- The proposal makes efficient use of a large residential lot while maintaining generous landscaped areas and appropriate separation from neighbouring

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properties, consistent with the spacious character of the surrounding neighbourhood.

- The circular driveway, entry walkway configuration, and garage design reflect driveway and access patterns observed along the street, supporting functional access while remaining compatible with the streetscape.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed variances are considered minor in nature for the following reasons:

- The requested height increase is small (10.1 m vs. 10.0 m permitted) and applies only to limited roof ridge elements rather than the overall roof structure, such that most of the roof area remains below the permitted height and the overall scale of the dwelling remains consistent with surrounding residential development.
- The additional dwelling depth is primarily attributable to a rear projection, while the reduced second-floor footprint and porch elements moderate the perceived massing of the building.
- The garage projection is visually balanced by the front porch projection on the opposite side of the façade, ensuring the dwelling maintains a balanced residential streetscape presence.
- The encroachment variances relate to small roof projections and detailing, including an overhang associated with the principal dwelling and a bracket-supported roof projection above the accessory structure doorway, which do not materially increase building mass or footprint.
- The walkway variance is limited to a short section directly in front of the dwelling, where the walkway briefly widens before narrowing to dimensions that represent the majority of the walkway length.
- The proposal maintains appropriate setbacks, landscaped areas, and compatibility with surrounding residential development, and therefore does not result in undue physical or functional impacts on adjacent properties or the broader neighbourhood.

Cumulative Effects of Multiple Variances and Other Planning Matters:

The cumulative effect is minor, and staff are supportive for the following reasons:

- While multiple variances are requested, they relate primarily to dwelling articulation, roof form, and design elements, rather than a significant increase in building footprint, massing, or intensity of use.
- When considered together, the variances result in a cohesive dwelling design, where building projections, roof forms, and façade elements work together to reduce the perceived mass and scale of the building.

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- The modest height increase, additional building depth, and garage projection are visually moderated through varied roof planes, porch elements, and a reduced second-floor footprint, ensuring the dwelling remains compatible with surrounding residential development.
- The remaining variances, including minor roof encroachments and the localized walkway widening, relate to design detailing and access configuration and do not materially expand the building footprint or reduce landscaped areas.
- Taken cumulatively, the variances do not create undue physical or functional impacts on adjacent properties or the streetscape, and the proposal continues to maintain the low-rise residential character of the neighbourhood.

Recommendation:

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: March 10, 2026

Prepared By: Melissa Gasic, MCIP RPP

Report Schedules & Attachments:

Attachment No. 1 (Site Photos)



View of the front



View of the front from the driveway

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View of the northwesterly corner



View of the backyard



View of the backyard



View towards the abutting southerly property



View of the rear lot line



**View of the property across the street (880
Glenwood Avenue)**

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View of neighbourhood context (876 Glenwood Avenue)



View of the abutting southerly property (875 Glenwood Avenue)



View of 885 Glenwood Avenue



View of neighbourhood context (865 Glenwood Avenue)



View of 868 Glenwood Avenue



View of 862 Glenwood Avenue

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View of 886 Glenwood Avenue



View of 885 Glenwood Avenue



View of 886 Glenwood Avenue



View of 817 Glenwood Avenue

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objections. Changes to the plans may be required during the Grading and Drainage Clearance Certificate review process.

Date: February 19, 2026

Prepared By: D. Savelli

Forestry

Forestry has reviewed the application and has no objection to the proposed minor variance(s) subject to the reduction in the driveway widths.

Forestry provides the following advisory comment(s) to the applicant:

- A tree permit(s) will be required for any and all work around regulated trees in accordance with the City's Tree By-laws.
- Revisions to plans and/or reports may be required through the tree permit application process

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- A consent letter is required to be supplied with a tree permit application where the applicant is not the sole owner of the tree. This includes boundary and/or neighbouring trees. Should an applicant not obtain consent from the adjacent owner(s), it may necessary to relocate the limits of excavation and associated disturbance outside of the minimum tree protection zone(s) of the tree(s).
- Trees that are 75cm or greater at breast height are considered a significant tree and additional review and justification for their removal may be required.

Date: February 24, 2026Prepared By: M.Krzywicki**Building**

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

Date: March 4, 2026Prepared By: Q. Tan**Transportation Planning**Deemed Road Width Analysis

Glenwood Avenue is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: September 9th, 2025Prepared By: Taylor Kirchknopf

Transportation Planning have reviewed the proposed minor variance application and and have no comments or concerns.

Date: February 19, 2026Prepared By: Thalia Thompson**Finance****Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be

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amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: February 24, 2026Prepared By: L. Bray**Halton Region****Regional Contaminated Sites Database:**

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies, Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments, Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

Regional Staff have reviewed the Minor Variance application proposing the construction of a two-storey detached dwelling with attached garage, rear screened-in porch, circular driveway, and a rear yard accessory building. Variances are requested to the maximum permitted building height, dwelling depth, garage projection, side yard encroachment, roof overhang encroachment, and walkway width.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.

Regional Staff have no objections to the Minor Variance application.

Date: March 4, 2026Prepared By: Navjot Kaur**Conservation Halton**

Conservation Halton (CH) staff has reviewed the minor variance application and materials for 881 Glenwood Avenue in Burlington as per our regulatory responsibilities under the *Conservation Authorities Act* (CA Act) and Ontario Regulation 41/24 and our

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provincially delegated responsibilities under Ontario Regulation 686/21 (e.g., acting on behalf of the province to ensure decisions under the Planning Act are consistent with the natural hazards policies of the Provincial Planning Statement [PPS, Sections 5.1.11-5.2.8] and/or provincial plans).

Proposal

The applicant is proposing the construction of a two-storey detached dwelling with attached garage and rear screened-in porch. Proposal also includes a circular driveway and a rear yard accessory building. The required variances include:

1. To permit a building height of 10.1 m instead of the maximum permitted 10.0 m for a proposed two storey dwelling with a peaked roof.
2. To permit a dwelling depth of 20.3 m instead of the maximum permitted 18 m measured from building wall closest to front lot line to the building wall closest to the rear lot line for a proposed two storey dwelling with attached garage.
3. To permit a proposed attached garage to project 2.2 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.
4. To permit a north-west side yard encroachment of 0.6 m instead of the maximum permitted projection of 0.5 m measured from the wall of the building for a proposed roof overhang excluding eaves and gutter.
5. To permit a 1.1 m roof overhang encroachment instead of the maximum permitted 0.5 m for a proposed one storey accessory building in the rear yard.
6. To permit a 3.7 m walkway width whereas Zoning Bylaw 2020 permits a maximum walkway width of 2 m in combination with a circular driveway.

Conservation Authorities Act and Ontario Regulation 41/24

CH regulates all watercourses, valleylands, wetlands, Lake Ontario Shoreline, hazardous lands (e.g. flooding and erosion hazards, dynamic beaches, unstable soil and bedrock), as well as lands adjacent to these features. Based on CH's Approximate Regulation Limit (ARL) mapping, the subject property is regulated by CH as it is adjacent to Glenwood Creek and contains the flooding and erosion hazards associated with this watercourse. CH regulates a distance of 15 metres from the greater of the flooding and erosion hazards associated with the watercourse.

Permits are required from CH prior to undertaking development activities within CH's regulated area and applications are reviewed under the *Conservation Authorities Act*

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

(CA Act), Ontario Regulation 41/24 and CH's *Policies and Guidelines for the Administration of Part VI of the Conservation Authorities Act and Ontario Regulation 41/24 and Land Use Policy Document*, last amended April 17, 2025 (<https://conservationhalton.ca/policies-and-guidelines>).

Based on the review of the plans submitted and CH's Approximate Regulation Limit (ARL) mapping, the proposed dwelling is located outside of the CH Regulated Area. However, the proposed detached garage with associated grading, and a portion of the rear driveway are within the CH Regulated Area. A CH permit is required for these development activities within the regulated area prior to construction. The proposed detached garage will need to be setback a minimum of 6 metres from the stable top of bank to meet CH's regulatory policies, and this can be confirmed through the review of the CH permit application.

Conclusion/Recommendation

CH staff has no objections to the requested variances. A CH Permit is required for the proposed detached garage, associated grading and rear driveway hardscaping in the CH regulated area. Should any changes to the proposed development arise through the Minor Variance process, or for future development, please circulate CH for further review and to identify any regulatory and permitting requirements.

We trust the above is of assistance. Please contact me with any questions.

Date: February 26, 2026

Prepared By: Jessica Bester

NOTICE OF PUBLIC HEARING

1000718612 Ontario Inc of 424 Macnab St. Dundas, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **881 Glenwood Ave. Burlington** (see map).

The applicant is proposing the construction of a two-storey detached dwelling with attached garage and rear screened-in porch. This proposal also includes a circular driveway and a rear yard accessory building. This proposal results in the following variances:

1. To permit a building height of 10.1 m instead of the maximum permitted 10.0 m for a proposed two storey dwelling with a peaked roof.
2. To permit a dwelling depth of 20.3 m instead of the maximum permitted 18 m measured from building wall closest to front lot line to the building wall closest to the rear lot line for a proposed two storey dwelling with attached garage.
3. To permit a proposed attached garage to project 2.2 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.
4. To permit a north-west side yard encroachment of 0.6 m instead of the maximum permitted projection of 0.5 m measured from the wall of the building for a proposed roof overhang excluding eaves and gutter.
5. To permit a 1.1 m roof overhang encroachment instead of the maximum permitted 0.5 m for a proposed one storey accessory building in the rear yard.
6. To permit a 3.7 m walkway width whereas Zoning Bylaw 2020 permits a maximum walkway width of 2 m in combination with a circular driveway.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **March 23, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in

person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY APRIL 8, 2026,

This application is scheduled to be heard at or after 5:30 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for

joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **5:00 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



881 Glenwood Ave.



Committee of Adjustment Community
Planning Department - Planning
Implementation

**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____ Name of Zoning Examiner: ERIN RUBY

PROPERTY INFORMATION

Municipal Address(es) of property:

881 GLENWOOD AVENUE

Legal Description of property:

LT 114 & 115, REG'D PLN 732 (PF), CITY OF BURLINGTON

Official Plan Designation: LOW DENSITY RESIDENTIAL Current Zoning Designation R2.1

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

1000718612 ONTARIO INC.

Mailing Address: 424 MacNAB ST. City: DUNDAS

Postal Code: L9H 2L3 Home Phone: _____ Mobile Phone:

Work Phone: E-Mail:

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

DAN HUTCHINSON O/A DAN HUTCHINSON INTERIOR DESIGN

Business Address: 111 WALDWEG City: SCUGOG

Postal Code: L0B 1B0 Home Phone: _____ Mobile Phone:

Work Phone: _____ E-Mail:

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

DEMOLISH EX. SINGLE FAMILY DETACHED DWELLING & LANDSCAPING (INCL. IN GROUND POOL), WHILE RETAINING THE EX. SHED IN THE REAR YARD. CONSTRUCT A NEW, 1.5 STY, SINGLE FAMILY DETACHED DWELLING AND DETACHED GARAGE IN REAR YARD WHICH INCLUDES LIMITED LIVING SPACE (POOL HOUSE, NOT 2ND SUITE)

Variance(s) Requested	Zoning Bylaw Requirement
To permit a building height of 10.1m	10.0m for a proposed 2 sty dwelling with a peaked roof
To permit a dwelling depth of 20.3m	18 m from building wall closest to front lot line to the building wall closest to the rear lot line for a proposed two storey dwelling with attached garage
To permit a north-west side yard encroachment of 0.6m	0.5m from the wall for a proposed roof overhang
To permit a 1.1m roof overhang encroachment	0.5m for a one storey accessory building in the rear yard
To permit a 3.7 m walkway width	2m in combination with a circular driveway

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? _____

THE BUILDING HEIGHT AND SIDE YARD ROOF OVERHANG ARE MERELY 0.1m LARGER THAN PERMITTED. THE EXTRA DWELLING DEPTH IS ONLY 2.3m AND ONLY ACCOUNTS FOR 23% OF THE FULL WIDTH OF THE HOUSE. THE ROOF OVERHANG ON THE ACCESSORY BUILDING IS ACTUALLY A COVERED ENTRY.

2. Why are the variance(s) desirable for the appropriate use of the land? _____

THE SCALE OF THE VARIANCES, THEIR IMPACT ON THE STREET SCAPE, AND THEIR IMPACT ON THE NEIGHBOURS ARE MINOR IN NATURE BUT RESULT IN HUGE IMPROVEMENTS TO THE LIVEABILITY OF THE HOUSE FOR IT'S OWNERS.

3. Do the variance(s) meet the intent and purpose of the Official Plan? _____

YES, IN MY OPINION THEY DO. EVERY ATTEMPT HAS BEEN MADE TO MAKE THIS PROPOSED SINGLE FAMILY HOME LOOK APPROPRIATE TO THE SCALE AND AESTHETIC OF THE NEIGHBORHOOD BOTH IN A TRADITIONAL STYLE THAT ALREADY EXISTS WHILE STILL IN KEEPING WITH WHAT THE NEIGHBOURHOOD IS BECOMING

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

YES, IN MY OPINION THEY DO.

PROPERTY DETAILS (please complete all fields):				
Date property purchased:	Date property first built on:	Date of proposed construction:		
2023	UNKNOWN	JULY 2026		
mmm/dd/yyyy	mmm/dd/yyyy	mmm/dd/yyyy		
Existing Use of the Subject Property (check one):		Length of time the existing uses of the subject property have continued:		
Detached Dwelling <input checked="" type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____		SINCE CONSTRUCTION		
		Proposed Use of the Land:		
		TO CONTINUE AS SINGLE FAMILY DETACHED DWELLING		
Existing Uses of Abutting Properties (check all that apply)				
Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>				
Additional Information				
Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>				
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>				
Type of Access to the Subject Lands				
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>
Municipal Services Provided				
Water <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Sanitary Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Storm Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:				
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent				

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
30.48m	77.93m	2375.31sq.m	20.0m	20.0m	NONE	25% ALLOWABLE	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/Addition)	
Ground Floor Area (incl. attached garage)	M ²	Ground Floor Area (incl. attached garage)	M ²
		356.30-0.46OTB = 355.84	
Gross Floor Area:	149.00 M ²	Gross Floor Area:	355.84+282.33=638.17 M ²
Number of Storeys:	2 STY	Number of Storeys:	2 STY
Width:	15.608 M	Width:	24.384 M
Length:	11.975 M	Length:	20.269 M
Height:	M	Height (MEASURED FROM FIXED GRADE)	10.06 M
Garage/Car Port		Garage/Car Port	
Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>	Detached?	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>
Gross Floor Area:	M ²	Gross Floor Area:	49.86 M ²
Width:	M	Width:	7.061 M
Length:	M	Length:	7.061 M
Height:	M	Height: (MEASURED FROM FIXED GRADE)	4.142 M
Accessory Structures (Shed, Gazebo, etc)		Accessory Structures	
Gross Floor Area:	15.00 M ²	Gross Floor Area:	M ²
Width:	3.75 M	Width:	M
Length:	4.00 M	Length:	M
Height:	2.50 M	Height:	M
Other (pool, additional sheds, decks, driveways, etc.)		Other	
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
LOCATION of all existing and proposed buildings and structures			
EXISTING		PROPOSED	
Front:	18.500 M	Front:	12.649 M
Rear:	48.917 M	Rear:	45.009 M
Side/Street Side:	4.628 M	Side/Street Side:	3.048 M
Side/Other Side:	10.320 M	Side/Other Side:	3.048 M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

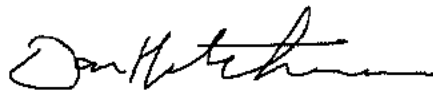
I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name

1000718612 Ontario Inc.

Property Address

881 GLENWOOD AVE.



Signature of Owner/Applicant

08/18/2025

Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: DAN HUTCHINSON O/A DAN HUTCHINSON INTERIOR DESIGN

I, DAN HUTCHINSON of the REGION of DURHAM in the TOWNSHIP
(print name) (Region/City/County) (City/Town/Township)

of SCUGOG solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Region of Durham in the Township of Scugog
(Region/City/County) (City/Town/Township)

this 20th day of August 2025.

Vanessa Jayne Emily Reuser, a Commissioner, etc.,
Province of Ontario,
for The Corporation of the Township of Scugog.
Expires June 18, 2028.

Signature of Commissioner, etc.

Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: _____

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

Signature of Owner

Print Name

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: DAN HUTCHINSON O/A DAN HUTCHINSON INTERIOR DESIGN

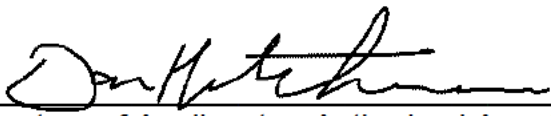
I, DAN HUTCHINSON of the REGION of DURHAM in the TOWNSHIP
(print name) (Region/City/County) (City/Town/Township)

of SCUGOG solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the _____ of _____ in the _____
(Region/City/County) (City/Town/Township)

this _____ day of _____ 20_____.

Signature of Commissioner, etc.



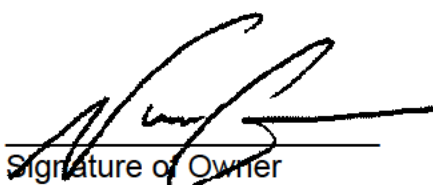
Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 881 GLENWWOD AVE., BURLINGTON, ON

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.



Signature of Owner

Nick A. Capretta

Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Nick A. Capretta being the registered owner of the subject lands, hereby
(print name)

Authorize Dan Hutchinson to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.


Signature of Owner

AUG/22/2025
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	<input type="checkbox"/>
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	<input checked="" type="checkbox"/>
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	<input checked="" type="checkbox"/>
SITE PLAN <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input checked="" type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input checked="" type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc)	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



Signature of Owner/Agent

02/09/2026

Date (mmm/dd/yyyy)

PLAN BEING PART 1
MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT (PART 2)

SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 114 & 115
REGISTERED PLAN 732(PF)
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 250

0 5 10 20 metres
THE INTENDED PLOT SIZE OF THIS PLAN IS 660 mm IN WIDTH BY 500 mm IN HEIGHT
WHEN PLOTTED AT A SCALE OF 1:250

MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
© 2020

KNOWN AS MUNICIPAL No. 881 GLENWOOD AVENUE

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1)

LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING
BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - MAY 20, 2021

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
NONE

ADDITIONAL REMARKS:

REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES

MacKAY, MacKAY & PETERS LIMITED grants GINO & LYNDIA INGRAUDO ("The Client(s)"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client(s)".

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ASSOCIATION OF ONTARIO
LAND SURVEYORS**

PLAN SUBMISSION FORM
2146494



**THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR**
In accordance with
Regulation 1026, Section 29(3)

**Copyright Act Applies to Use and
Production**

Legend

- DENOTES A SURVEY MONUMENT FOUND
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - P1 DENOTES REGISTERED PLAN 732
 - P2 DENOTES PLAN BY YATES & YATES DATED MAY 10, 1988 (88Y-379)
 - P3 DENOTES PLAN BY MMP LIMITED DATED SEPTEMBER 8, 2016 (16-166)
 - P4 DENOTES PLAN BY SEWELL & SEWELL DATED OCTOBER 1, 1980 (80Y-508)
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - (OU) DENOTES ORIGIN UNKNOWN
 - DENOTES ROUND
 - ⊙ DENOTES CENTER LINE
 - DS DENOTES DOOR SILL
 - CLF DENOTES CHAIN LINK FENCE
 - UP DENOTES UTILITY POLE
 - SAN MH DENOTES SANITARY MANHOLE
 - TOD DENOTES TOP OF DITCH
 - BOD DENOTES BOTTOM OF DITCH
 - ILB DENOTES INTERLOCKING BRICK
 - CWW DENOTES CONCRETE WALKWAY
 - FP DENOTES FENCE POST
 - OHW DENOTES OVERHEAD WIRE
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES
 - ★ DENOTES CONIFEROUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES
 - ⊙ DENOTES STUMP
- BUILDING TIES ARE TO BRICK UNLESS OTHERWISE NOTED

Benchmark Note

CITY OF BURLINGTON BENCHMARK No. 297
ELEVATION = 77.799 METERS (CGVD 1928:1978 ADJUSTMENT)
BENCHMARK SET ON PLATE ON WEST FACE AT NORTHWEST CORNER OF PUMPING STATION
ON SOUTH SIDE OF NORTH SHORE BOULEVARD AT THE WESTERLY BOUNDARY OF THE
BURLINGTON GOLF AND COUNTRY CLUB PROPERTY

Bearing Reference

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH NORTH LIMIT OF GLENWOOD
AVENUE AS SHOWN ON REGISTERED PLAN 732(PF) HAVING A BEARING OF N88°59'00"W

Surveyor's Certificate

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 10th DAY OF JUNE, 2021.

AUGUST 3, 2021
DATE

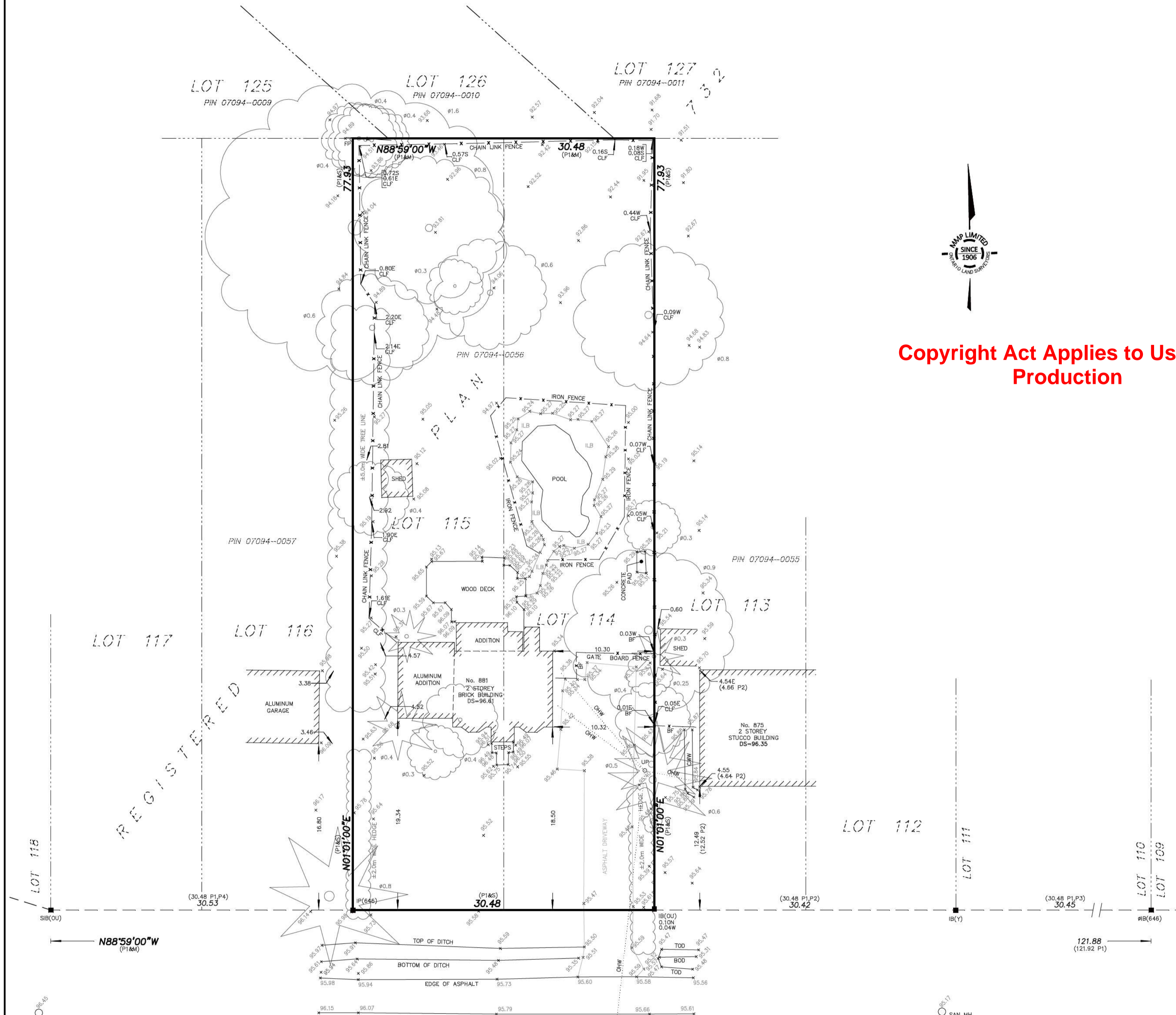
[Signature]
ONTARIO LAND SURVEYOR
FOR MACKAY, MACKAY & PETERS LIMITED

GAD FILE: E:\(20) Halton\Registered Plans (PF)\RP 0732 (PF)\LOT 114, 115\21-193\21-193.dwg

MMP
MacKAY, MacKAY & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

DRAWN BY: S.S.
PARTY CHIEF: J.M.
CHECKED BY: *[Signature]*
PROJECT NO.:
21-193

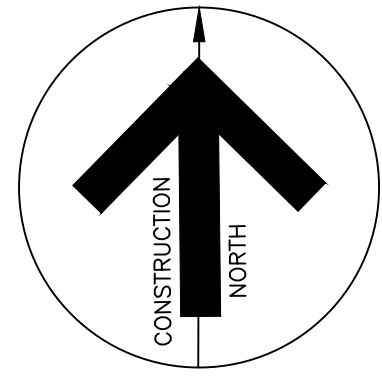


GLENWOOD AVENUE
(BY REGISTERED PLAN 732)
PIN 07094-0001

Copyright Act Applies to Use and Production

LEGEND

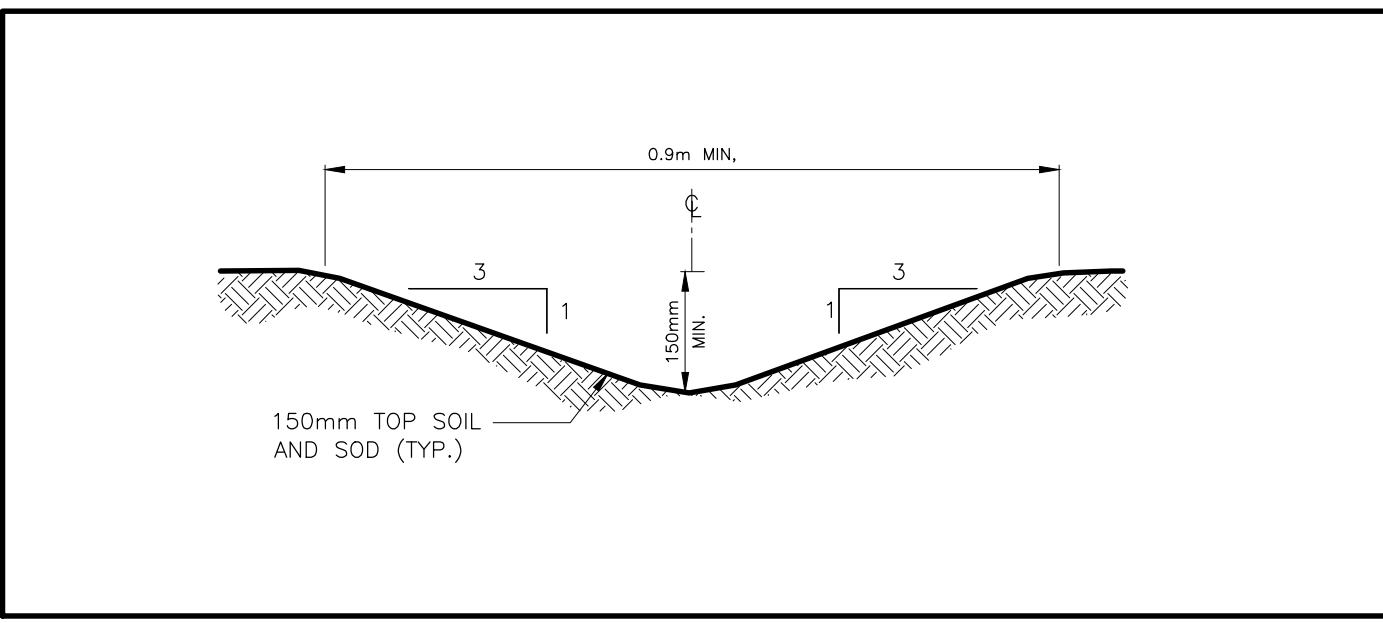
▲	ENTRANCE	R#	NUMBER OF RISERS
▲	OVERHEAD DOOR ENTRANCE	BOD	BOTTOM OF DITCH
----	EXISTING GRADE	EX	EXISTING
(XXX.XX)	PROPOSED GRADE	LA	LANDSCAPING
[XXX.XX]	PROPOSED FIXED GRADE	PROP.	PROPOSED
EX(XXX.XX)	PROPOSED GRADE = EXISTING GRADE	RWL	RAIN WATER LEADER
FFE=(XXX.XX)	PROPOSED FINISHED FLOOR ELEVATION	TOD	TOP OF DITCH
GFE=(XXX.XX)	PROPOSED GARAGE FLOOR ELEVATION	TYP.	TYPICAL
(XXX.XX)BW	PROPOSED TOP OF WALL GRADE	UP	UTILITY POLE
(XXX.XX)RW	PROPOSED BOTTOM OF WALL GRADE	WW	WINDOW WELL
(XXX.XX)TW/BW	PROPOSED TOP OF WALL = BOTTOM OF WALL		
(XXX.XX)SW	PROPOSED SWALE GRADE		
(XXX.XX)D	PROPOSED DITCH GRADE		
(XXX.XX)IV	PROPOSED INVERT GRADE		
→	PROPOSED SHEET FLOW DIRECTION		
→	PROPOSED SWALE FLOW DIRECTION		
→	EXISTING SHEET FLOW DIRECTION		
---	INDICATES LIMITS OF GRADING (MATCH TO EXISTING GRADES)		
---	DRAINAGE SPLIT		
---	CONSERVATION HALTON REGULATORY LIMITS		
---	STABLE TOP OF BANK		
---	FLOOD PLAIN		
---	TREE PROTECTION FENCING. REFER TO TREE PROTECTION PLAN PREPARED BY DAVEY RESOURCE GROUP		



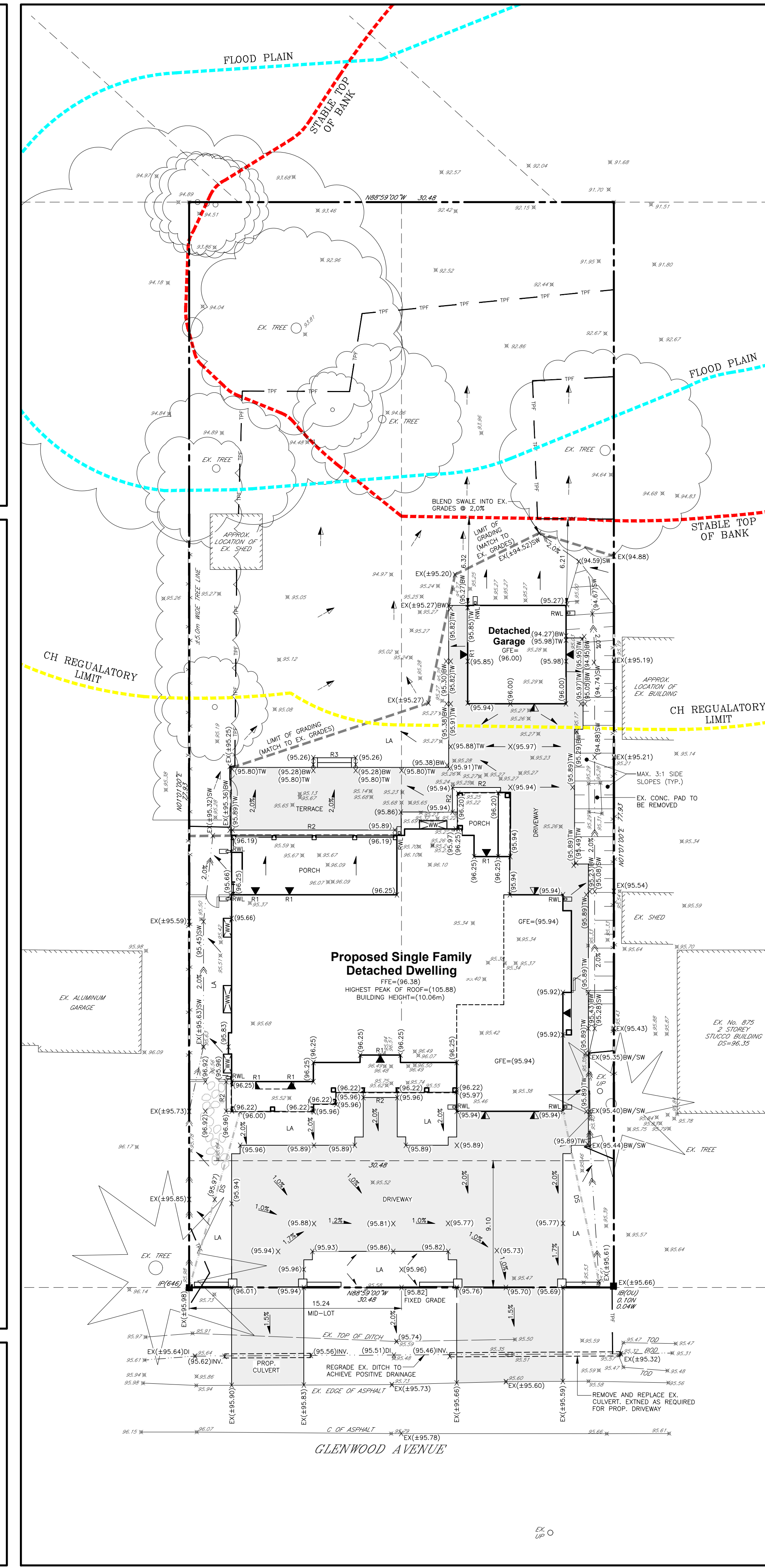
- ### GENERAL GRADING NOTES
- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
 - ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.
 - SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
 - RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT DRAINAGE" SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.5% GRADE (3:1 SLOPES).
 - WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3m COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 - FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC., REFER TO TREE PROTECTION PLAN.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.

- ### BEFORE STARTING WORK
- THE CONTRACTOR SHALL NOTIFY THE CITY OF BURLINGTON AND LANHACK CONSULTANTS INC. AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
 - THE POSITION OF THE POLE LINES, CONDUITS, WATERMANS, SEWERS, AND OTHER UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL BENCHMARKS, ELEVATIONS, DIMENSIONS, AND GRADES MUST BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
 - ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED, MARKED AND PROTECTED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.
 - AT LEAST TWO DIFFERENT BENCHMARKS MUST BE REFERRED TO AT ALL TIMES.

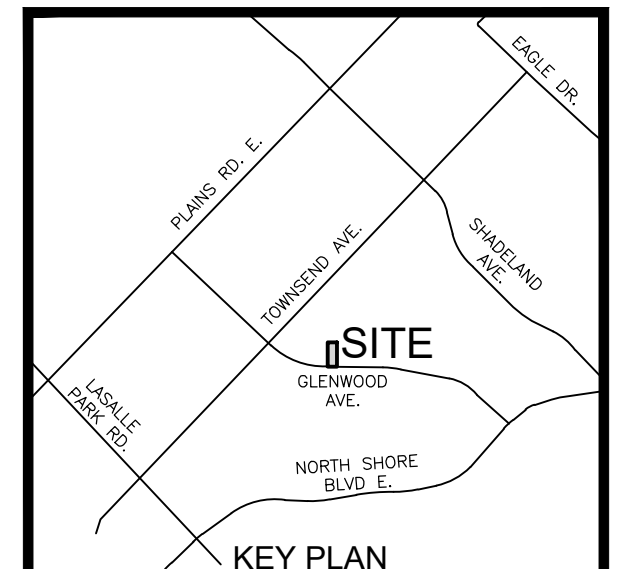
- ### ADDITIONAL NOTES:
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SURPLUS AND UNUSABLE MATERIAL OFF SITE AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR TO SUPPLY LANHACK WITH A DIGITALLY PRODUCED AS-CONSTRUCTED SURVEY (ACCEPTABLE TO LANHACK/MUNICIPALITY) OF THE SITE PRIOR TO SITE'S FINAL ACCEPTANCE BY LANHACK/MUNICIPALITY.
 - CONTRACTOR REQUESTED SITE VISITS/DISCUSSIONS/MEETINGS FOR SUBSTITUTIONS IN MATERIAL OR DESIGN WILL BE AT THE CONTRACTOR'S EXPENSE AS PER LANHACK'S CURRENT BILLING RATES.
 - CONTRACTOR TO PREPARE THEIR OWN CUT/FILL CALCULATIONS TO DETERMINE AMOUNT OF FILL TO BE PLACED OR REMOVED OFF SITE.
 - NO STORAGE OF UNSUITABLE MATERIAL TO BE LEFT/PLACED ON SITE.
 - ALL IMPORTED FILL MUST COME FROM AN APPROVED SITE. CONTRACTOR TO PROVIDE WRITTEN CERTIFICATE FOR IMPORTED FILL.
 - NO BURNING OF ITEMS (BRUSH/TREES) OR BUILDING MATERIALS WILL BE PERMITTED ON SITE.
 - CONTRACTOR TO ADVISE LANHACK OF ANY DISCREPANCIES WITH THE DESIGN OR SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR WILL NOT BE COMPENSATED FOR DOWNTIME OF EQUIPMENT OR EMPLOYEES.
 - LANHACK REQUIRES A MINIMUM OF 48 HOURS NOTICE FOR INSPECTION/PRECONSTRUCTION OR SITE MEETINGS.
 - LANHACK WILL NOT BE RESPONSIBLE, LEGALLY OR FINANCIALLY, FOR CONTRACTOR'S DUTY TO MAINTAIN EROSION AND CONTROL DEVICES THROUGHOUT CONSTRUCTION. IF EROSION AND CONTROL DEVICES ARE NOT MAINTAINED, A THIRD-PARTY CONTRACTOR WILL BE RETAINED TO RECTIFY THE EROSION AND CONTROL DEVICES AND THE CONTRACTOR WILL BE BILLED.
 - LANHACK WILL NOT BE RESPONSIBLE, LEGALLY OR FINANCIALLY, FOR RE-DESIGN OF SITE SERVICES DUE TO NON-DISCLOSED BURIED UTILITIES OR SERVICES OR FOUNDATIONS.
 - CONTRACTOR TO PROVIDE LANHACK WITH COPIES OF VIDEO INSPECTIONS OF ALL SEWERS. LANHACK TO BE PRESENT DURING VIDEO INSPECTION AND DURING THE MANHOLE TEST.
 - LANHACK TO BE PRESENT FOR WATER PRESSURE AND CHLORINATION TESTS. CONTRACTOR TO PROVIDE LANHACK WITH COPIES OF ALL TEST RESULTS.
 - CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING AND ATTENDING ALL INSPECTIONS AND TESTING WITH THE LOCAL MUNICIPALITY.



2 Typical Swale Cross Section



1 Grading Plan



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE PROJECT SITE AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 THIS DRAWING IS A PART OF THE CONTRACT DOCUMENTS AND IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
 THE CONTRACTOR/OWNER ARE IN AGREEMENT THAT THE INFORMATION ON THIS DRAWING IS NOT ABSOLUTE AND MAY BE SUBJECT TO CHANGES, REVISIONS OR ALTERATIONS, AS REQUESTED OR REQUIRED BY THE CITY/TOWN OFFICIALS HAVING JURISDICTION.
 © COPYRIGHT - LANHACK CONSULTANTS INC. ALL RIGHTS RESERVED.
 SOURCE - EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM MACKAY MACKAY PETERS LIMITED, PROJECT NO.: 21-193, DATED AUGUST 3, 2021.
 THE POSITION OF THE POLE LINES, CONDUITS, WATERMANS, SEWERS, AND OTHER UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

Revision Record

No.	Description	Date (m/d/y)
D	ISSUED FOR HRCA PERMIT	03/03/26
C	ADDED FIXED GRADE LABEL BESIDE GRADE	12/10/25
B	ISSUED AS PER CITY COMMENTS	12/08/25
A	ISSUED FOR COMMITTEE OF ADJUSTMENT	11/26/25



LANHACK Consultants Inc.
 Consulting Engineers
 1709 Upper James Street
 Hamilton, ON L9B 1K7
 Tel: (905) 777-1454
 Fax: (905) 536-8142

881 Glenwood Avenue

BURLINGTON, ON

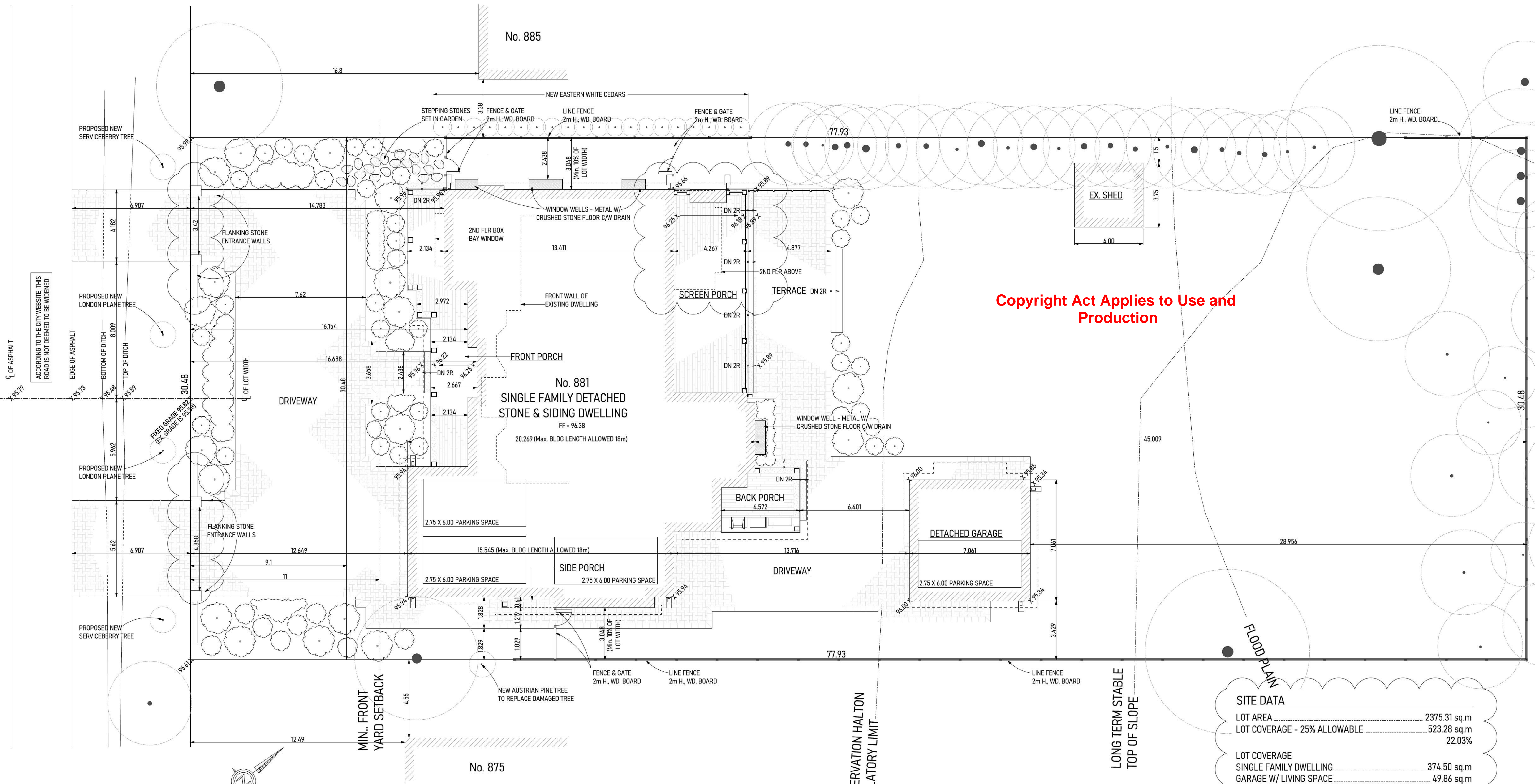
Date: NOVEMBER 2025
 Drawn By: GRW
 Chkd By: SMP
 Scale: 1 : 200

Grading Plan

Project No.: 25034 Drawing No.: C-1 Rev.: D
 Plot Date: 03/03/26
 25034_001 - Grading Plan.dwg

GLENWOOD AVENUE

ACCORDING TO THE CITY WEBSITE THIS ROAD IS NOT DEEMED TO BE WIDENED



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SITE DATA	
LOT AREA	2375.31 sq.m
LOT COVERAGE - 25% ALLOWABLE	523.28 sq.m
	22.03%
LOT COVERAGE	
SINGLE FAMILY DWELLING	374.50 sq.m
GARAGE W/ LIVING SPACE	49.86 sq.m
EX. SHED	15.00 sq.m
TOTAL COVERAGE - BUILDINGS	439.36 sq.m
	18.50%
FLOOR AREA RATIO	
MAIN FLOOR AREA	356.30-0.46 OTB = 355.84 sq.m
SECOND FLOOR AREA	295.10-12.77 OTB = 282.33 sq.m
TOTAL FLOOR SPACE	355.84+282.33= 638.17 sq.m
	26.87% or a ratio of 0.27:1

0m 2m 4m 6m 8m 10m

NOTE: REFER TO SEPARATE TREE PROTECTION PLAN AND SITE GRADING PLAN FOR FURTHER DETAILS

REGISTRATION INFORMATION
 Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby granted a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.4 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design BCIN: 29528

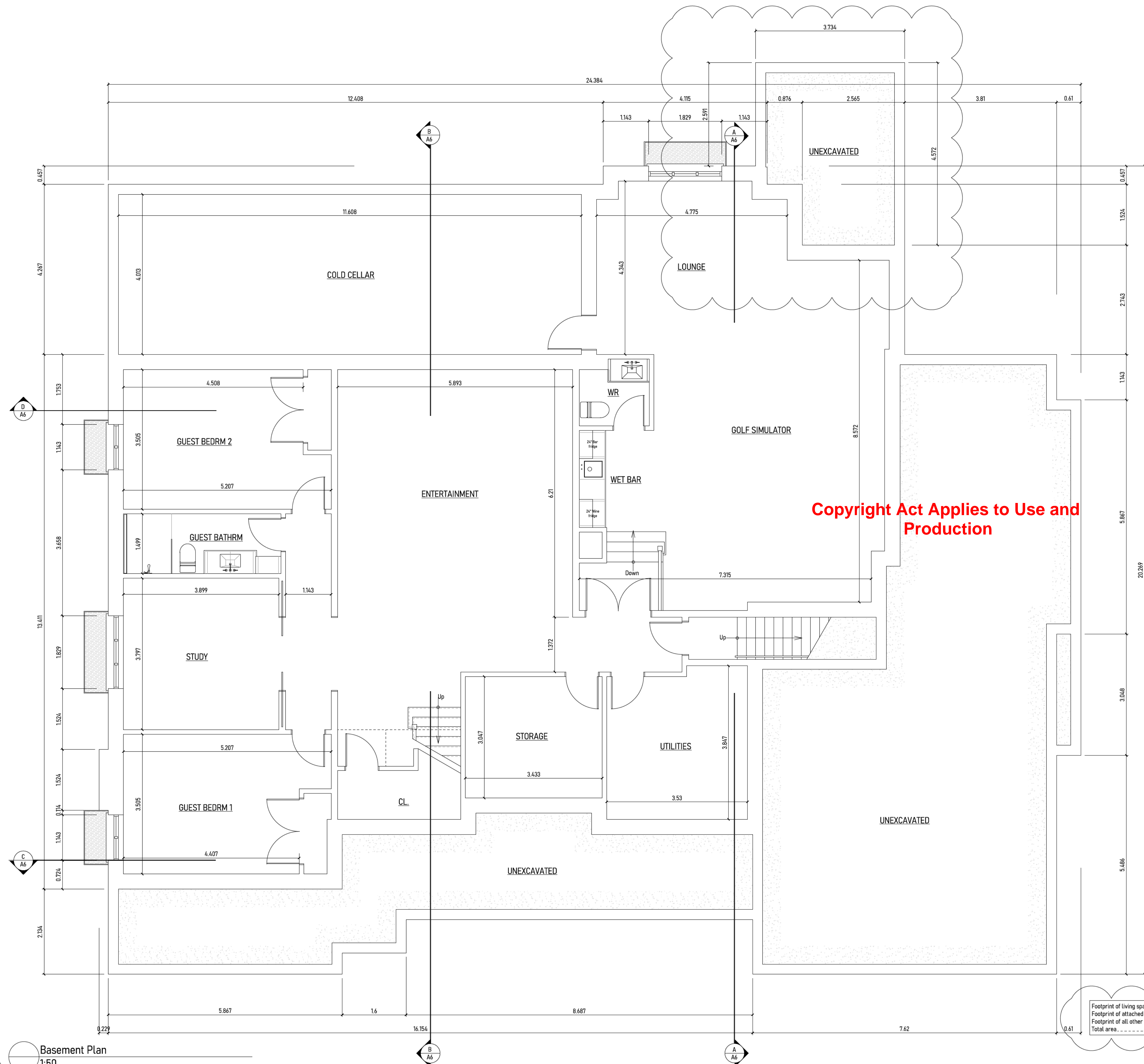
QUALIFICATION INFORMATION
 Qualified Designer under Section 3.2.4.3 (3) of Division C of the Building Code

Dan Hutchinson BCIN: 23731

Dan Hutchinson Interior Design
 111 Waldweg, Blackstock, ON L0B 1B0
 T: 416-294-1748 E: dancanmoveyou@gmail.com

Project:	881 Glenwood Ave., Burlington, ON	Drawing By:	DH	Checked By:		Do not scale drawings for construction purposes.
Drawing:	Site Plan	Date:	23 Jan 2026	Scale:	As Noted	Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds.
						These drawings are protected by copyright and may not be reproduced or distributed without expressed permission.

Notes:	3. Second flr enlarged @ rear and site data changed to reflect it, driveway narrowed	23 Jan 2026	Drawing No:
	2. Fixed Grade and Site Data both revised as per zoning review	8 Dec 2025	
	1. "Clouded" area of the footprint of main dwelling revised, site information edited as per preliminary zoning review, tree & gardens updated to reflect current conditions better	21 Sep 2025	A1
No.	Originally issued	18 Aug 2025	



Basement Plan
1:50

Footprint of living space	313.53 sq.m
Footprint of attached garage	92.63 sq.m
Footprint of all other unexcavated	54.39 sq.m
Total area	460.55 sq.m

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
Registration under Section 32 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby issued a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.4.1 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design *Dan Hutchinson* BCIN: 29528

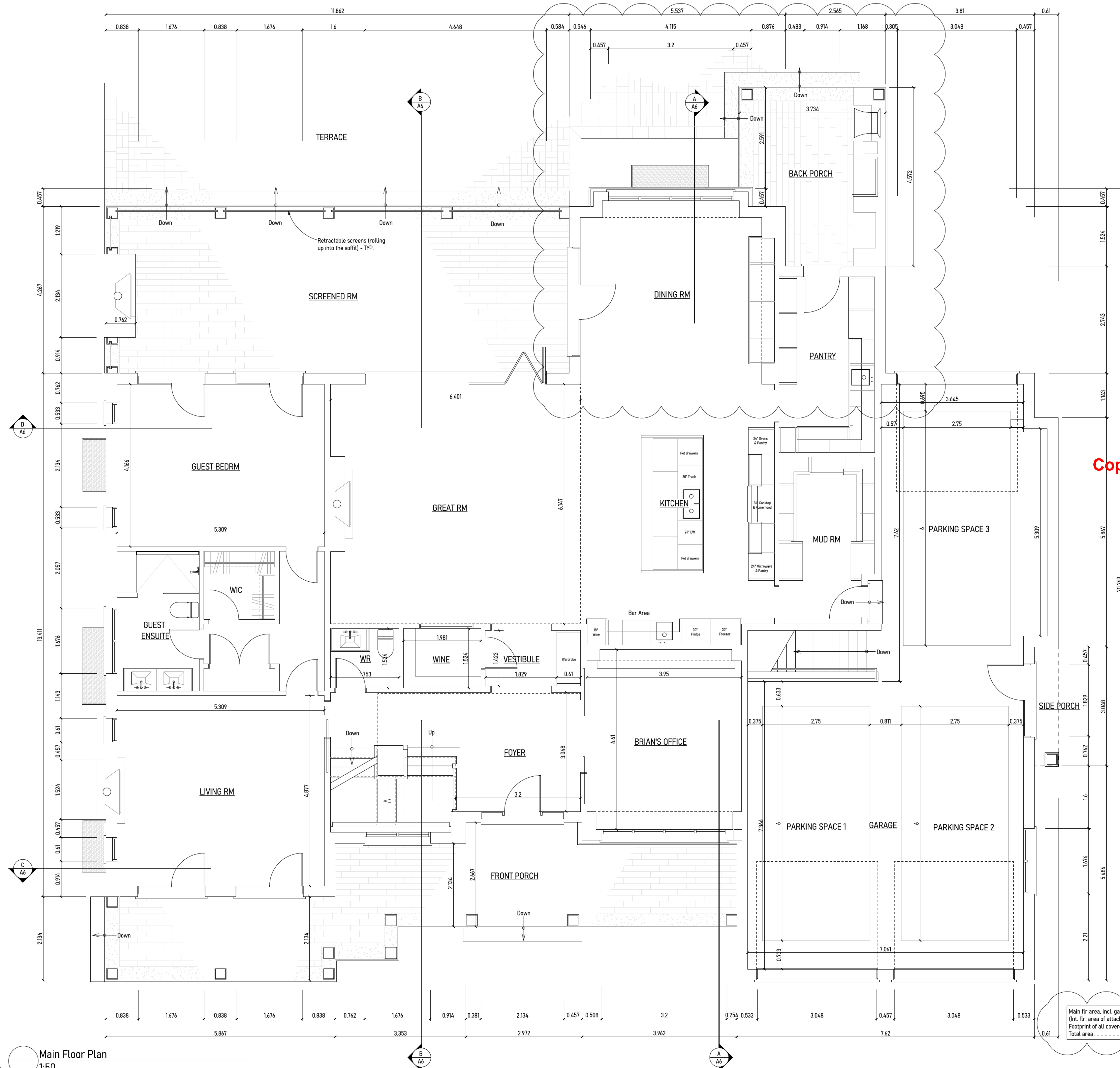
QUALIFICATION INFORMATION
Qualified Designer under Section 3.2.4.3 (3) of Division C of the Building Code

Dan Hutchinson *Dan Hutchinson* BCIN: 23731

Dan Hutchinson Interior Design
111 Waldweg, Blackstock, ON L0B 1B0
T: 416-294-1748 E: dancanmoveyou@gmail.com

Project: 881 Glenwood Ave., Burlington, ON	Drawing By: DH	Checked By:	Do not scale drawings for construction purposes. Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds. These drawings are protected by copyright and may not be reproduced or distributed without expressed permission.
Drawing: Basement Plan	Date: 21 Nov 2025	Scale: 1:50	Notes:

Drawing No:	A2	
No.	1. "Clouded" area of floor plan revised & site data updated	21 Sep 2025
	Originally issued	18 Aug 2025



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Main fir area, incl. garage 355.54 sq.m
 (incl. fir. area of attached garage) (87.88 sq.m)
 Footprint of all covered porches 104.99 sq.m
 Total area 372.67 sq.m

REGISTRATION INFORMATION
 Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby issued a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.1 of Division C of the Building Code. Class: House

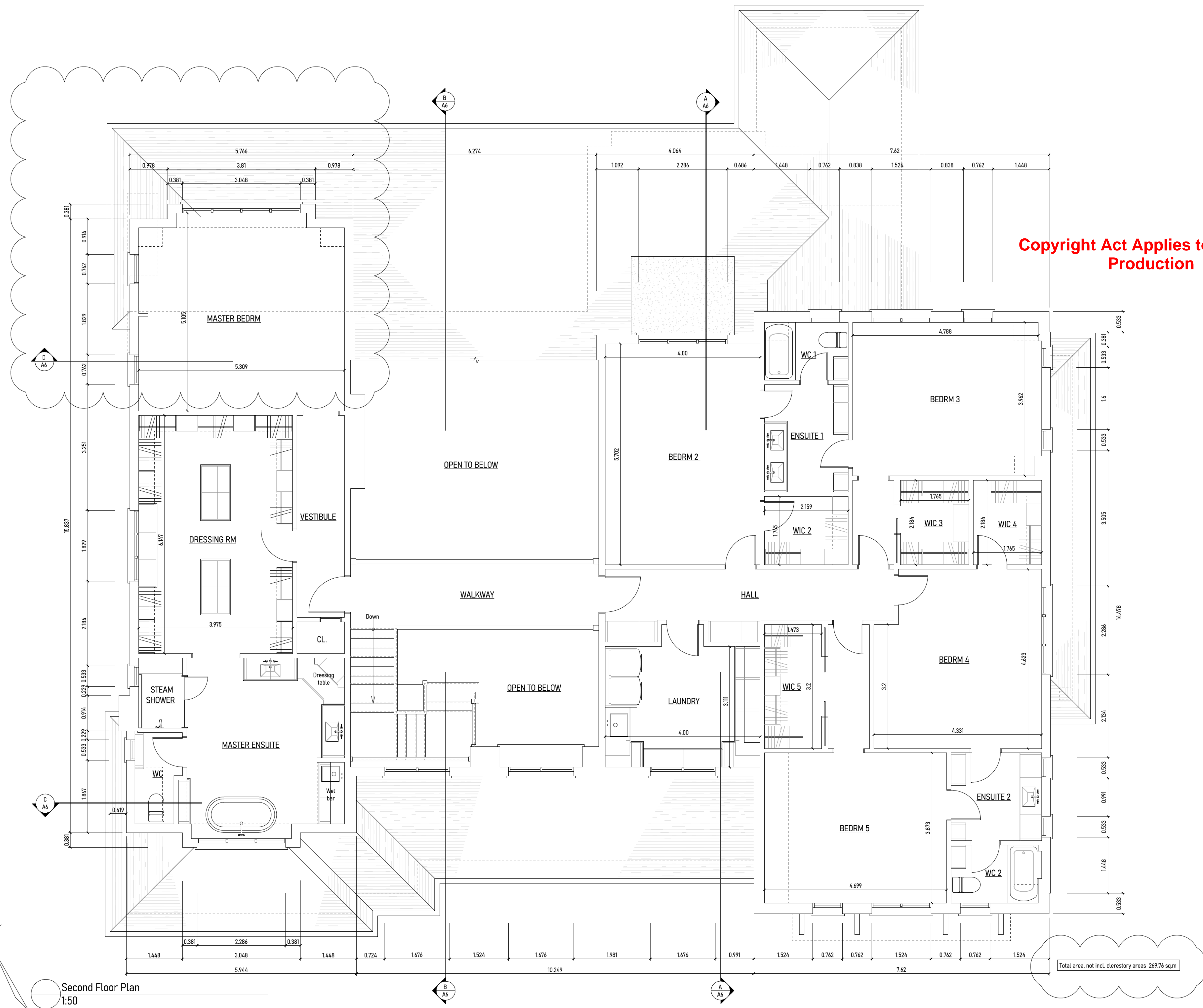
QUALIFICATION INFORMATION
 Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the Building Code

Dan Hutchinson Interior Design BCIN: 29528
 Dan Hutchinson BCIN: 23731

Dan Hutchinson Interior Design
 111 Waldweg, Blackstock, ON L0B 1B0
 T: 416-294-1748 E: dancanmoveyou@gmail.com

Project:	881 Glenwood Ave., Burlington, ON	Drawing By:	DH	Checked By:		Notes:	
Drawing:	Main Floor Plan	Date:	21 Nov 2025	Scale:	1:50	Do not scale drawings for construction purposes. Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds. These drawings are protected by copyright and may not be reproduced or distributed without expressed permission.	

Drawing No:	A3
No.	1
	"Clouded" area of floor plan revised & site data updated
	Originally Issued
	21 Sep 2025
	18 Aug 2025



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REGISTRATION INFORMATION
 The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.
 Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby granted a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.1 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design, BCIN: 29528

QUALIFICATION INFORMATION
 Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the Building Code

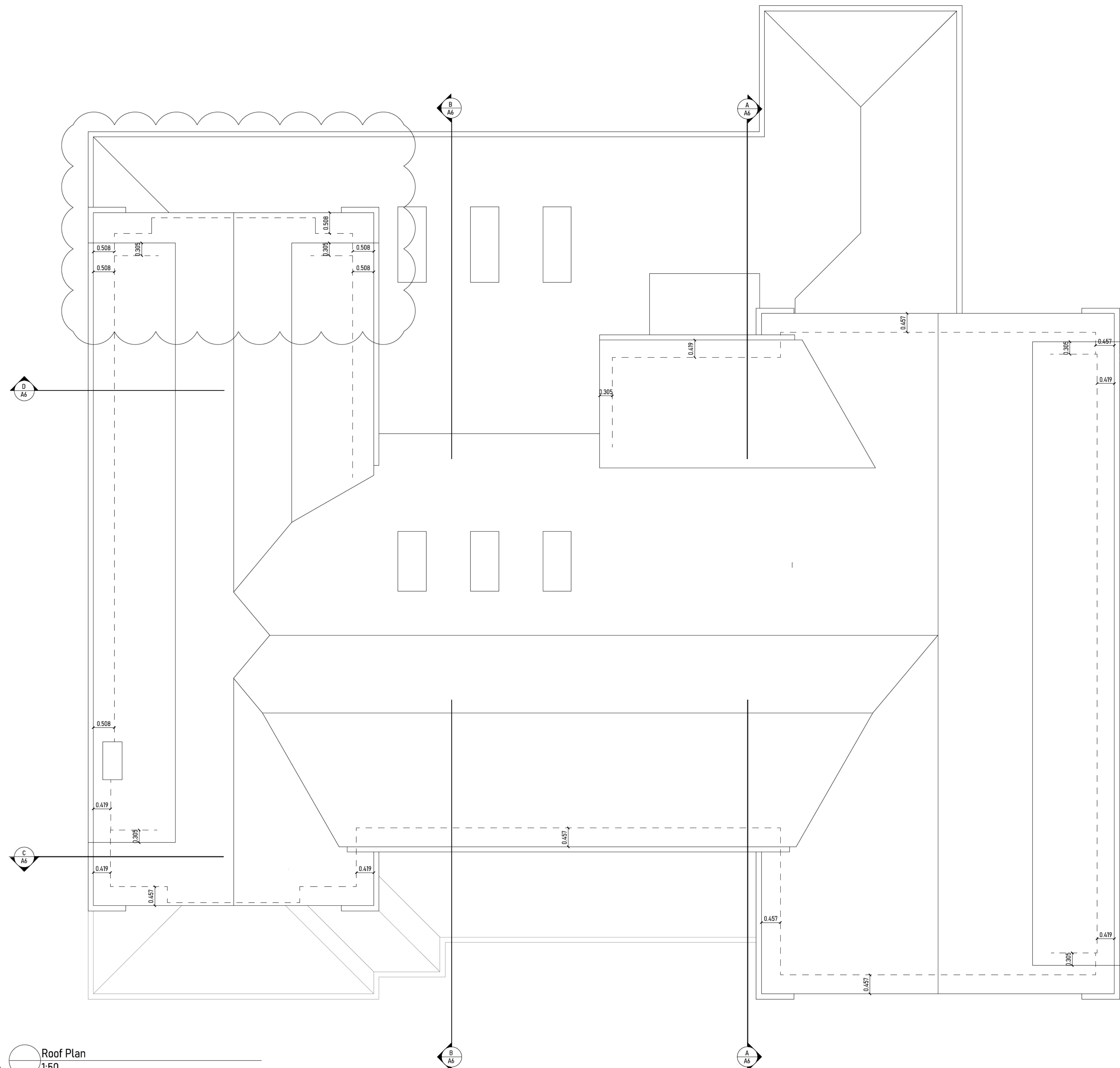
Dan Hutchinson, BCIN: 23731

Second Floor Plan
 1:50

Dan Hutchinson Interior Design
 111 Waldweg, Blackstock, ON L0B 1B0
 T: 416-294-1748 E: dancanmoveyou@gmail.com

Project: 881 Glenwood Ave., Burlington, ON	Drawing By: DH	Checked By:	Do not scale drawings for construction purposes. Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds. These drawings are protected by copyright and may not be reproduced or distributed without expressed permission.
Drawing: Second Floor Plan	Date: 9 Jan 2026	Scale: 1:50	Notes:

2.	"Clouded" area of floor plan revised & site data updated (Master Suite Enlarged)	9 Jan 2026	A4
1.	"Clouded" area of floor plan revised & site data updated	21 Sep 2025	
No.	Originally Issued	18 Aug 2025	



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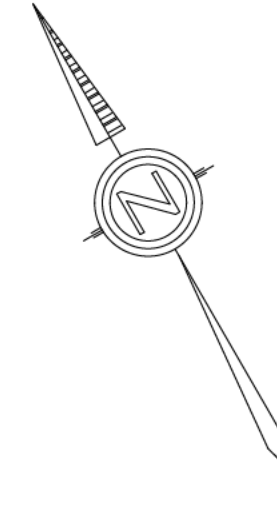
The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
 Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby issued a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.1 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design, *Dan Hutchinson*, BCIN: 29528

QUALIFICATION INFORMATION
 Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the building code

Dan Hutchinson, *Dan Hutchinson*, BCIN: 23731



Roof Plan
1:50

Dan Hutchinson Interior Design
 111 Waldweg, Blackstock, ON L0B 1B0
 T: 416-294-1748 E: dancanmoveyou@gmail.com

Project: 881 Glenwood Ave., Burlington, ON
 Drawing: Roof Plan

Drawing By: DH
 Checked By:
 Date: 23 Jan 2026
 Scale: 1:50

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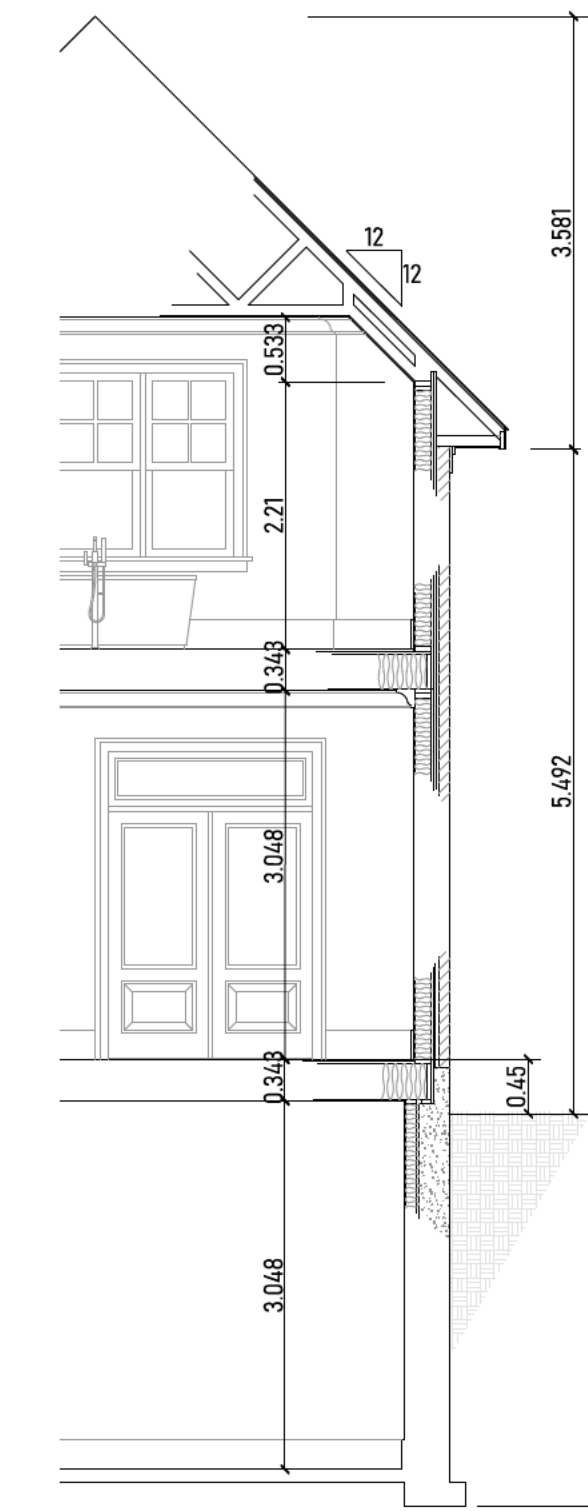
Notes:

No.	1	Second floor below was enlarged	23 Jan 2026
		Originally Issued	18 Aug 2025

Drawing No:
A5

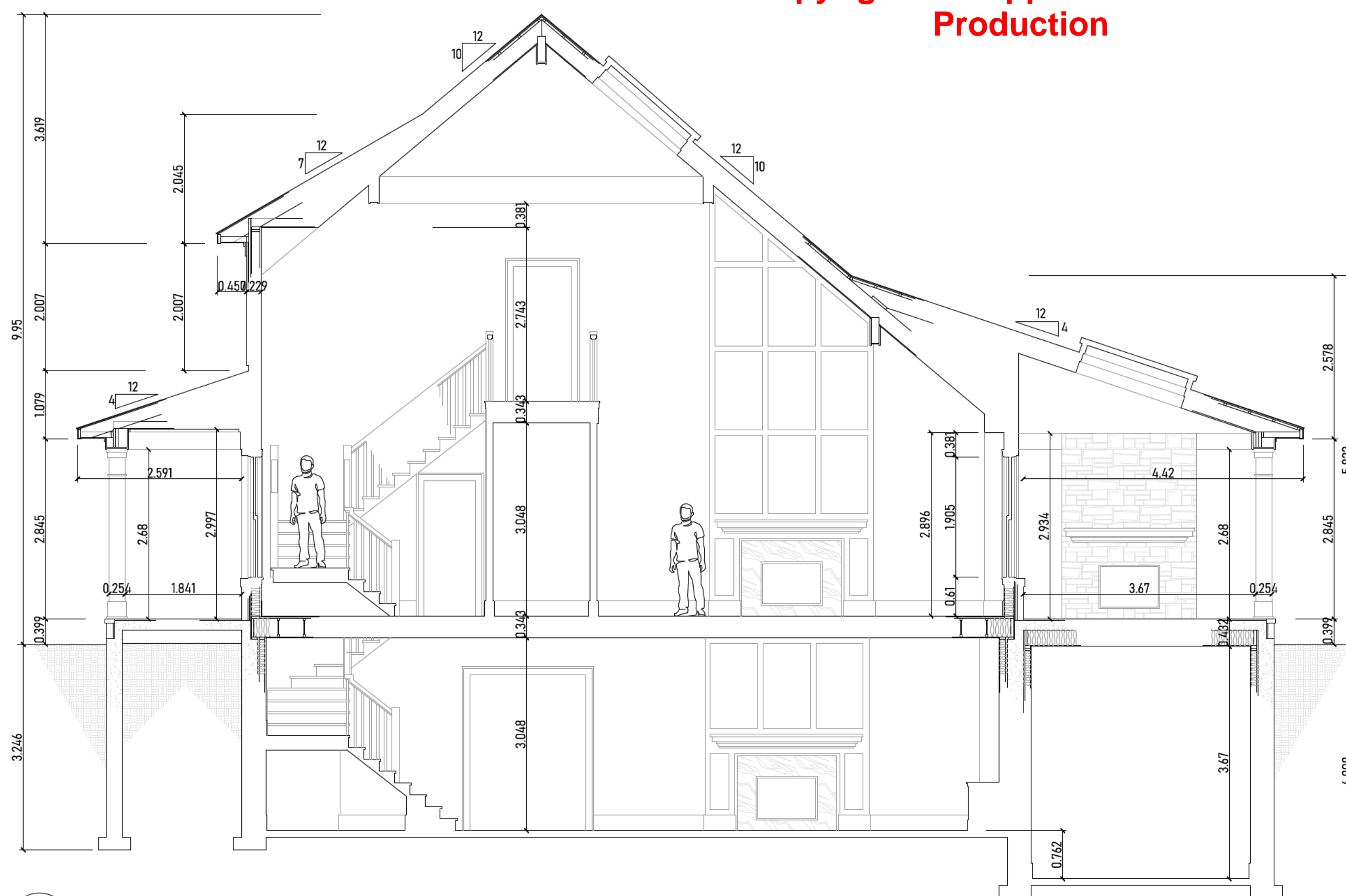


Section Detail A
1:60

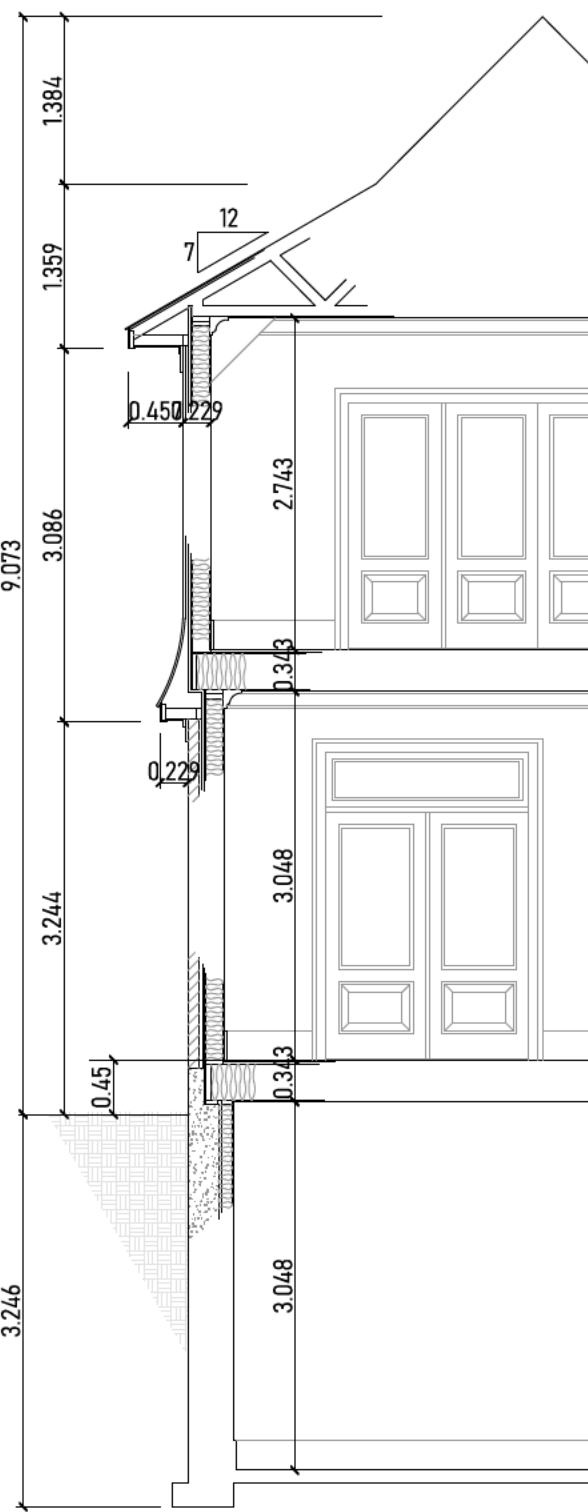


Section Detail C
1:60

Copyright Act Applies to Use and Production



Section Detail B
1:60



Section Detail D
1:60

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby issued a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.4 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design, BCIN: 29528

QUALIFICATION INFORMATION
Qualified Designer under Section 3.2.4.3 (3) of Division C of the building code

Dan Hutchinson, BCIN: 23731

Dan Hutchinson Interior Design
111 Waldweg, Blackstock, ON L0B 1B0
T: 416-294-1748 E: dancanmoveyou@gmail.com

Project: 881 Glenwood Ave., Burlington, ON
Drawing: Rear Elevation

Drawing By: DH
Date: 21 Nov 2025

Checked By:
Scale: 1:50

Do not scale drawings for construction purposes.
Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds.
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Notes:

No.	Originally Issued	18 Aug 2025	Drawing No: A6
-----	-------------------	-------------	--------------------------



Front Elevation
1:50

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Street Elevation
1:50

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby granted a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.3 of Division C of the Building Code. Click House

Dan Hutchinson Interior Design *Dan Hutchinson* BCIN: 29528

QUALIFICATION INFORMATION
Qualified Designer under Section 3.2.3.3 (3) of Division C of the Building Code

Dan Hutchinson *Dan Hutchinson* BCIN: 23731

Dan Hutchinson Interior Design
111 Waldweg, Blackstock, ON L0B 1B0
T: 416-294-1748 E: dancanmoveyou@gmail.com

Project: 881 Glenwood Ave., Burlington, ON
Drawing: Front Elevation

Drawing By: DH
Date: 23 Jan 2026

Checked By:
Scale: 1:50

Do not scale drawings for construction purposes.
Posted dimensions are for general purposes only. O.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds.
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Notes:

3. Driveway width(s) narrowed
2. "Fixed Grade" revised to match survey, also revised & roof overhangs clarified
1. Street elevation added to highlight walls flanking driveway
- No. Originally issued

23 Jan 2026
8 Dec 2025
21 Sep 2025
18 Aug 2025

Drawing No: **A7**

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The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
 Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby stated a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.1 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design *Dan Hutchinson* BCIN: 29528

QUALIFICATION INFORMATION
 Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the building code

Dan Hutchinson *Dan Hutchinson* BCIN: 23731

Project: 881 Glenwood Ave., Burlington, ON
 Drawing: Rear Elevation

Drawing By: DH
 Date: 9 Jan 2026

Checked By:
 Scale: 1:50

Do not scale drawings for construction purposes.
 Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds.
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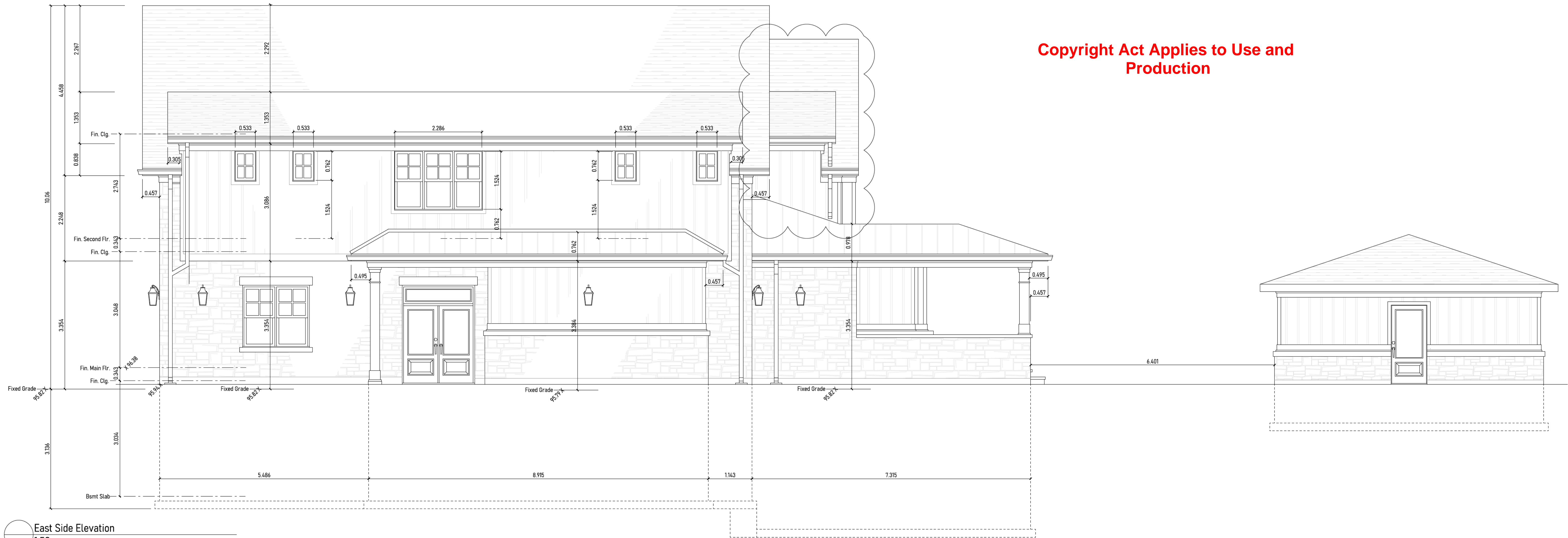
Notes:

No.	Originally Issued	18 Aug 2025
1.	"Clouded" area revised and retractable screens noted at screen room	21 Sep 2025
2.	"Clouded" area of elevation revised re changes to Master Suite	9 Jan 2026

Dan Hutchinson Interior Design
 111 Waldweg, Blackstock, ON L0B 1B0
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Drawing No: **A8**

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East Side Elevation
1:50

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REGISTRATION INFORMATION
Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby issued a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.1 of Division C of the Building Code. Class: Other: None

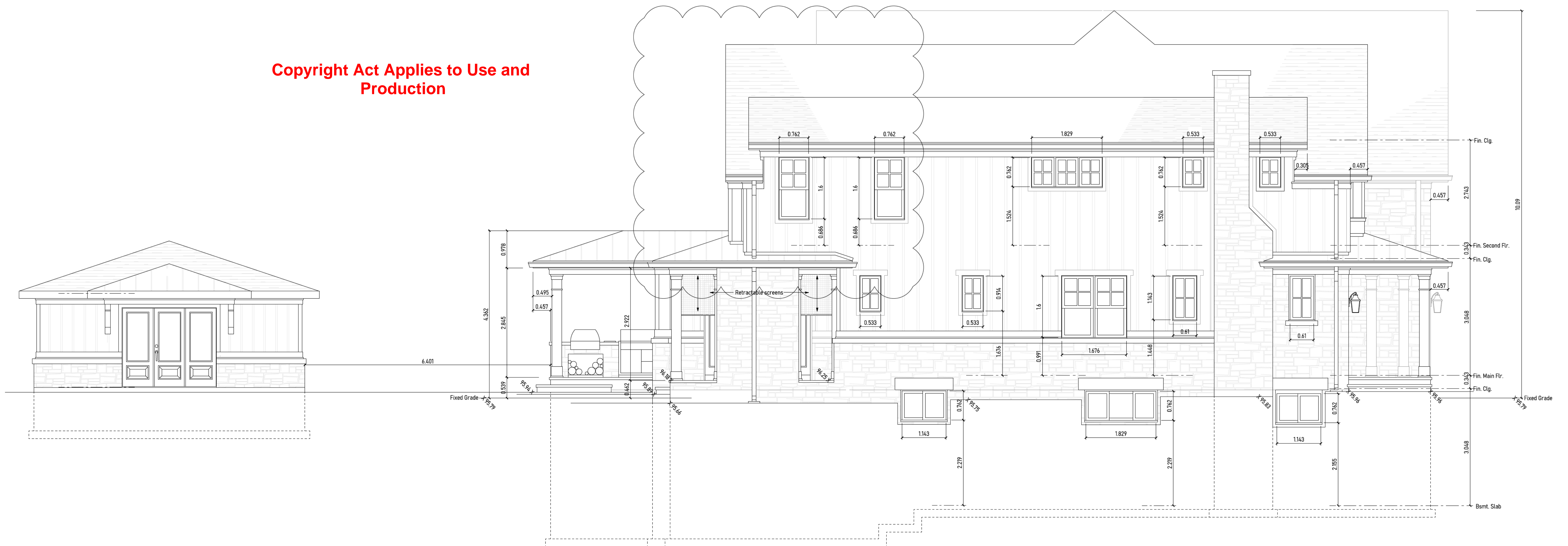
Dan Hutchinson Interior Design, BCIN: 29528

QUALIFICATION INFORMATION
Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the Building Code

Dan Hutchinson, BCIN: 23731

Dan Hutchinson Interior Design 111 Waldweg, Blackstock, ON L0B 1B0 T: 416-294-1748 E: dancanmoveyou@gmail.com	Project: 881 Glenwood Ave., Burlington, ON	Drawing By: DH	Checked By: (blank)	Do not scale drawings for construction purposes. Posted dimensions are for general purposes only. G.C. and subcontractors shall check and verify all dimensions on site and report discrepancies to the designer before any work proceeds. These drawings are protected by copyright and may not be reproduced or distributed without expressed permission.	Notes: (blank)	3. Second floor was enlarged and roof deck deleted 23 Jan 2026	Drawing No: A9
	Drawing: East Side Elevation	Date: 23 Jan 2026	Scale: 1:50			2. "Fixed Grade" revised to match survey, also revised & roof overhangs clarified 8 Dec 2025	
			1. "Clouded" area revised and retractable screens noted at screen room 21 Sep 2025				
			No. Originally Issued 18 Aug 2025				

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West Side Elevation
1:50

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REGISTRATION INFORMATION
Registration under Section 3.2 of Division C of the Building Code and having complied with the requirements of the Building Code Act, 1992 and the Building Code is hereby stated a registration to engage in the business of providing design activities to the public subject to the conditions set out in Article 3.2.3 of Division C of the Building Code. Class: House

Dan Hutchinson Interior Design *Dan Hutchinson* BCIN: 29528

QUALIFICATION INFORMATION
Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the building code

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Project: 881 Glenwood Ave., Burlington, ON
Drawing: West Side Elevation

Drawing By: DH
Checked By:
Date: 9 Jan 2026
Scale: 1:50

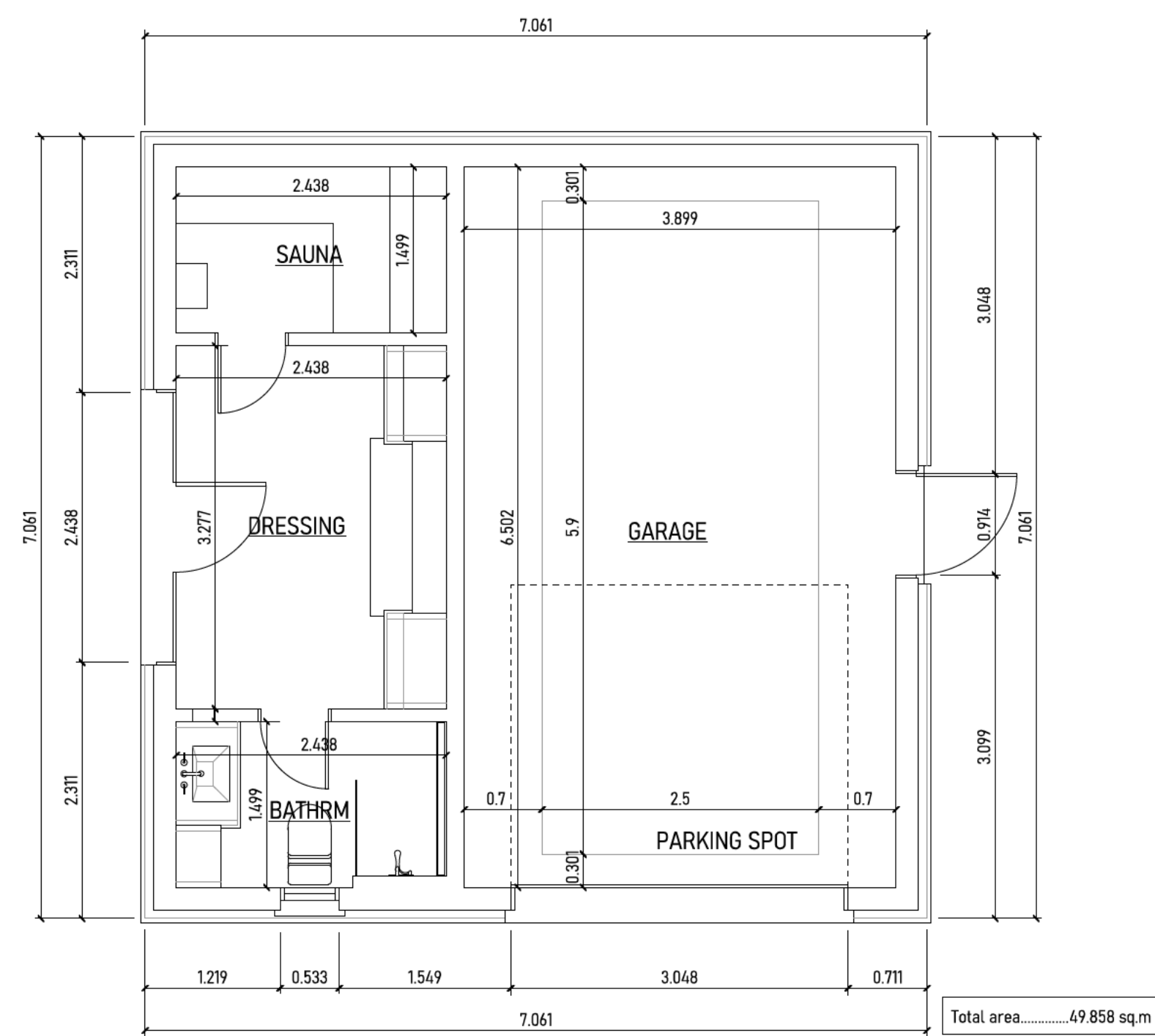
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Notes:

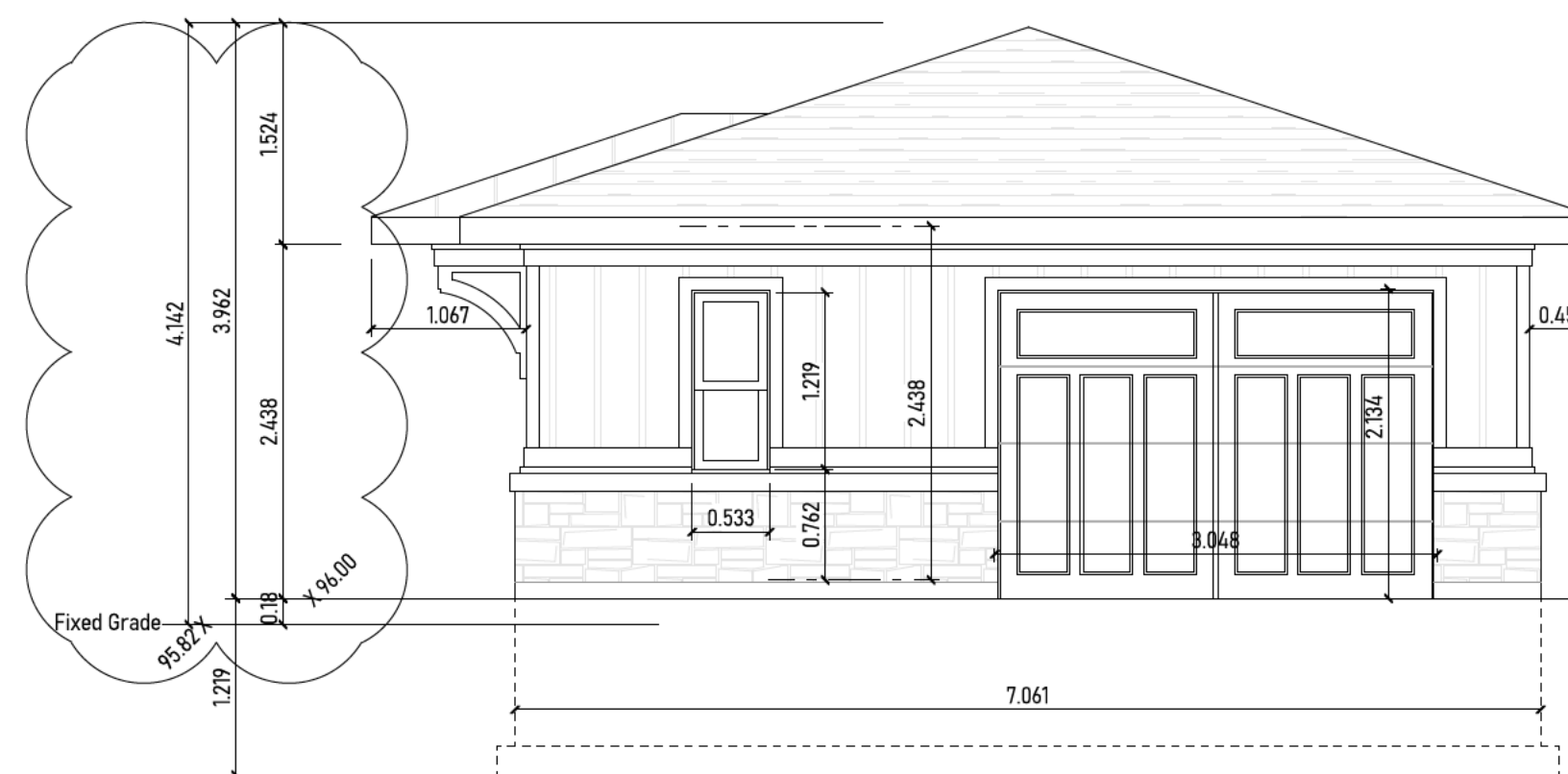
No.	Originally Issued	18 Aug 2025
1.	"Clouded" area revised and retractable screens noted at screen room	21 Sep 2025
2.	"Clouded" area of elevation revised re changes to Master Suite	9 Jan 2026

Drawing No: **A10**

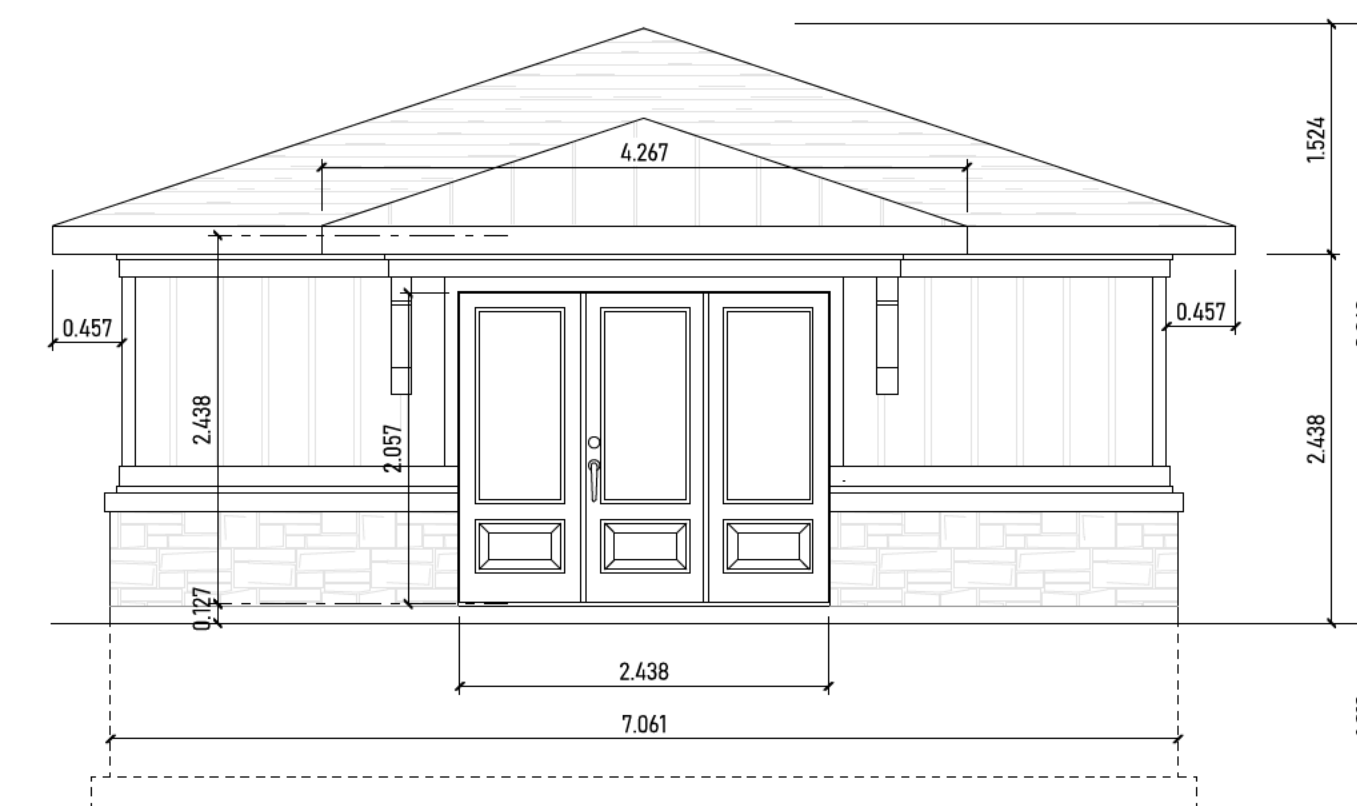
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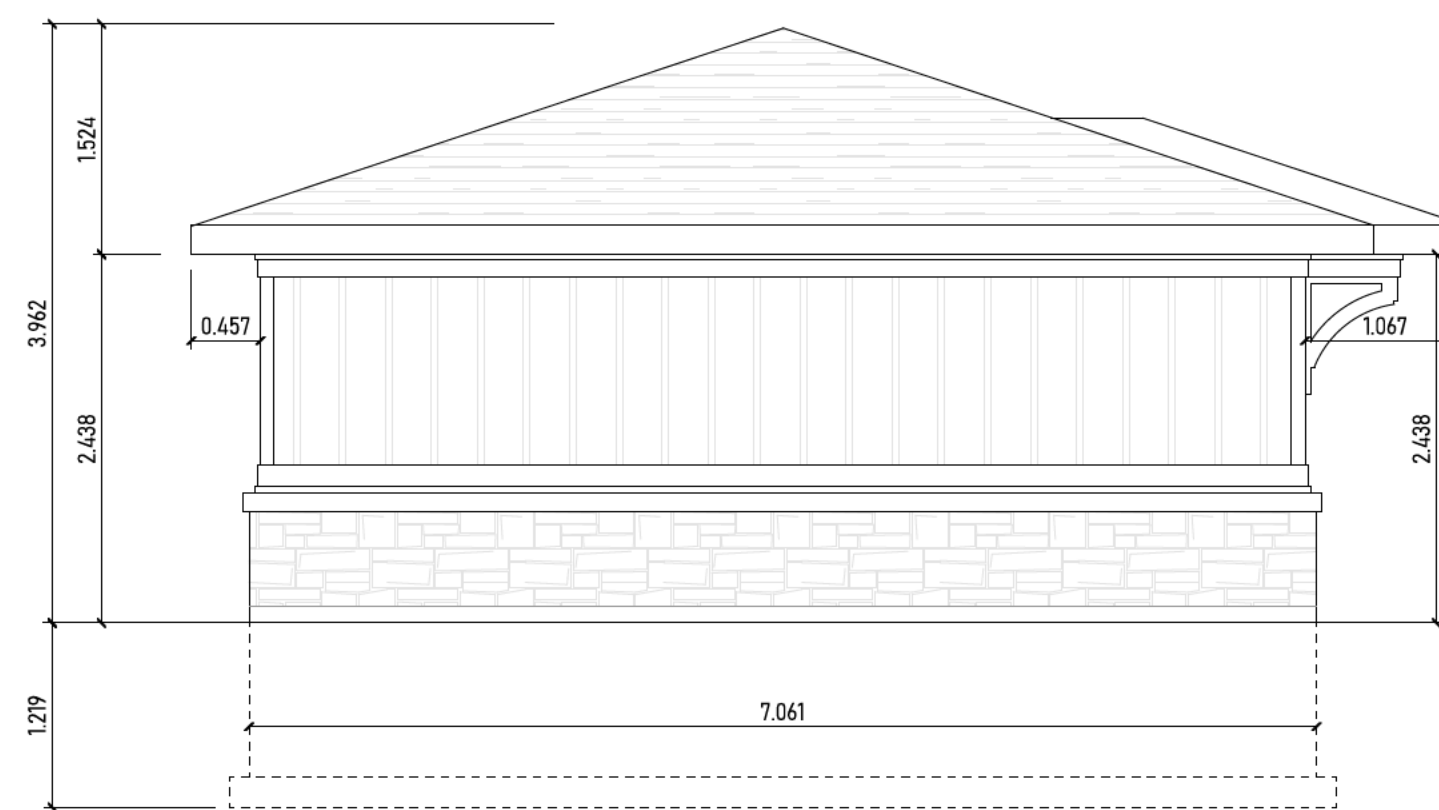
Detached Garage Plan
1:50



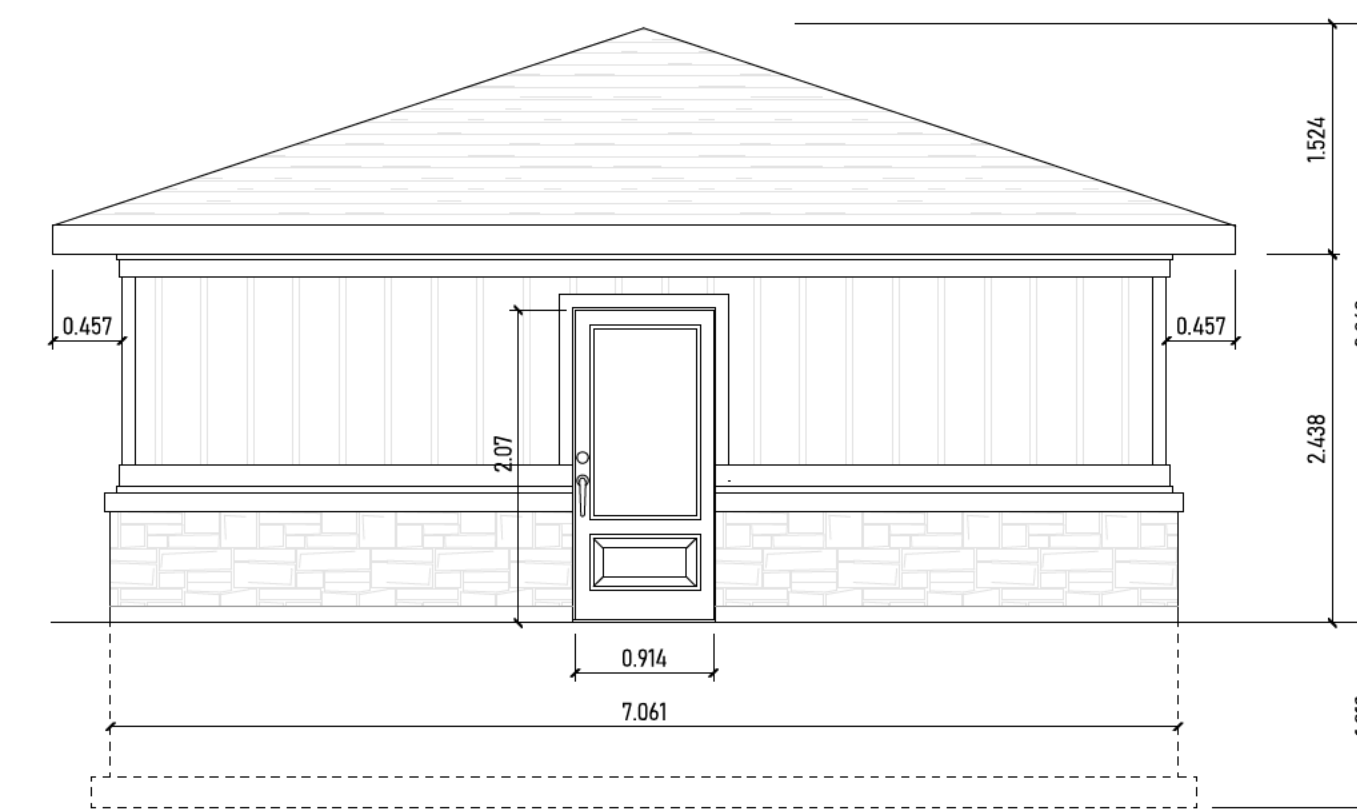
Front Elevation
1:50



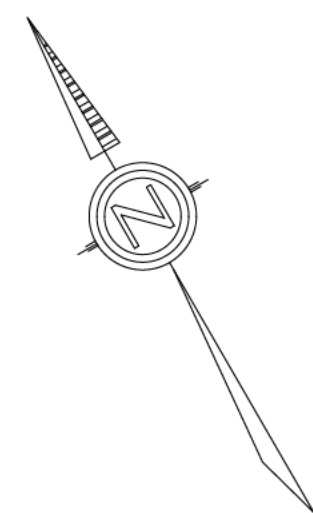
West Side Elevation
1:50



Rear Elevation
1:50



East Side Elevation
1:50



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REGISTRATION INFORMATION
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Dan Hutchinson Interior Design, BCIN: 29528

QUALIFICATION INFORMATION
Qualified Designer under Sentence 3.2.4.3 (3) of Division C of the building code

Dan Hutchinson, BCIN: 23731

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Project: 881 Glenwood Ave., Burlington, ON
Drawing: Detached Garage

Drawing By: DH
Date: 8 Dec 2025

Checked By:
Scale: 1:50

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Notes:

2.	"Fixed Grade" revised to match survey, also revised & roof overhangs clarified	8 Dec 2025
1.	"Clouded" area revised and retractable screens noted at screen room	21 Sep 2025
No.	Originally Issued	18 Aug 2025

Drawing No: **A11**



Arborist Report

Pre-Construction Assessment

Prepared For:

Dan Hutchinson

Site Address:

881 Glenwood Ave.
Burlington, ON

Revised: December 04, 2025
November 14, 2025

Prepared by:

Alex Weegen, R.P.F.
Urban Forester and GIS Specialist
Davey Resource Group
1(416) 346-6952
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Summary

The following Arborist Report is with respect to the proposed construction at 881 Glenwood Ave in Burlington, Ontario. This report serves to document the condition and provide recommendations to remove or preserve trees within and surrounding this property in advance of future construction.

In total, sixty-two (62) trees were inventoried for this report; two (2) of which are located on city property, nine (9) are located on the subject property, thirty-nine (39) are on the boundary between the subject property and neighbouring properties, and ten (10) are located on the neighbouring properties. Twelve (12) trees are required to be removed for construction, one (1) is anticipated to be injured, while all other trees inventoried are either far enough away from the construction and material/equipment storage or have barriers in place for tree protection.

It is imperative for all crew contracted to perform this construction to thoroughly understand this report and the recommendations stated within.

Introduction

Davey Resource Group (DRG) was retained by the client, Dan Hutchinson, to develop an Arborist Report and Tree Protection Plan (TPP) for the proposed construction at 881 Glenwood Ave in Burlington, Ontario

An inventory and assessment of all the trees within the scope of the assignment was conducted. The arborist was to document the current condition, size, and location of the trees as they relate to the proposed work. To account for the spatial scope of work within the site, the location of the proposed construction and all trees 10 cm in diameter and above on the property or within 6 meters of the subject property were surveyed. All trees within the scope of the survey were included in an inventory and assessed for protection or removal needs. Small ornamental trees and shrubs were not surveyed for this report.

Recommendations for tree preservation or removal are to be provided and follow City of Burlington Tree Protection and Preservation specifications.

This report must be accompanied by the following additional documents:

1. A full printing of the tree inventory performed by Davey Resource Group (DRG), otherwise known as the Tree Protection Action Key (TPAK, found in Appendix 1).
2. The construction maps with the Arborist Comments, otherwise known as the Tree Protection Plan (TPP, found in Appendix 2).

Limitations of the Assignment

It must be understood that DRG is the assessor of the trees in relation to tree preservation practices. The construction supervisors should incorporate the information and recommendations provided within this report into their construction methodology to complete their project in a reasonable manner.

This Arborist Report is based on the project scope and details for tree preservation as discussed. All proposed construction methods are limited to what was provided in the site plans and in discussions with the Project Leader. Estimates, measurements, and comments regarding tree preservation were based on the proposed construction plans and field observations.

This Arborist Report was compiled from field data collected from the ground. A basic visual assessment of trees was performed. No level of ISA Tree Risk Assessment was performed. More data on risk may be obtained through a basic or advanced ISA Tree Risk Assessment.

Methods

- Tools used to assess the trees included a metric diameter measuring tape, metric diameter calipers, range finder, and camera.
- Photographs included in this report are labeled copies of their originals but are otherwise unaltered.
- All trees over 10 cm on the property or within 6 m of the property limits were collected and assessed for this report.
- Any and all trees located in the public right of way in front of the subject address were collected and assessed for this report.
- No ornamental trees or shrubs were assessed for this report.
- Trees were studied for their proximity to existing and planned structures to determine recommendations or precautions for trees requiring removal or injury.

Observations

- The site was inspected by Certified Arborist Joseph Steinfeld OH-6403A.
- No material storage or soil compaction within Tree Protection Zones was observed.
- 62 trees were assessed for this report and labeled #1-62 in the Tree Protection Action Key and Tree Protection Plan included within Appendices 1 and 2.
- **52** trees are in good condition, **5** trees are in fair condition, **5** trees are in poor condition, and **0** trees are dead.
- For further details and observations, refer to the Tree Protection Action Key (Appendix 1).

Discussion

The following sections discuss specific areas regarding the preservation of trees during excavation.

Regulations

The City of Burlington’s Private Tree By-law (040-2022) protects all trees 20 cm DBH and larger as well as heritage trees and trees listed under the provincial *Endangered Species Act, 2007* from injury and destruction within its municipal boundaries.

The City of Burlington’s Public Tree By-law (063-2013) protects trees on public property within its municipal boundaries.

Site Assessments

Our goal during the site assessment was to determine which trees will be impacted by excavation. We set the following objectives for assessing the impact on trees located within the scope of the project:

1. Determine the TPZ radius for each tree included in the inventory.
2. Determine where work might occur within a TPZ.
3. Determine tree protection measures where work might occur within a TPZ.

The nature of the work for this project can have major impacts on surrounding trees. For this report, the minimum TPZs (MTPZ) for each tree were determined to recommend the best course of action to protect each tree during this project. The MTPZ distance is defined as the radial distance from a tree’s trunk inside which any construction or excavation activity poses a risk of damage to the tree itself or its root system. The exact distance is determined by the DBH of the tree. Below is a table of MTPZ and critical root zone (CRZ) distances as defined by City by-laws.

Table 1: Tree Protection Zone Distances

Trunk Diameter (DBH)	<10cm	11-40cm	41-50cm	51-60cm	61-70cm	71-80cm	81-90cm	91-100cm+
Minimum Protection Distance Required	1.8m	2.4m	3.0m	3.6m	4.2m	4.8m	5.4m	6.0m+
Critical Root Zone (CRZ) Distances Required	1.8m	4.0m	5.0m	6.0m	7.0m	8.0m	9.0m	10.0m

Source: City of Burlington Tree Protection and Preservation Specification No. SS12A.

Within these distances of trees, demolition- and construction-related activities, including staging/storage of materials, pose the risk of critical harm to tree roots and soil biospheres. Careless removal of roots within TPZ distances may threaten the stability of a tree, increasing fall-over risk. In addition, loss of over 25% of a tree’s roots threatens the long-term survivability of a tree, as this amount of root loss cuts off a significant amount of water and nutrient resources to the tree. Surface work within a TPZ, even without any mechanical damage to the bark or foliage/twig loss from incidental contact by construction machinery, threatens soil compaction and root suffocation. Compacted soil is a leading cause of tree decline or poor growth conditions. In cities where trees are

often planted in high-traffic areas, protection of soil from compaction is a key issue. Compaction of soil suffocates the roots, which affects the processes that power the tree, cutting off access to water, air, and nutrients. The structure of the tree can also be directly and indirectly impacted by compacted soils. Root decline and death can lead to structural failures above-ground as the tree loses vitality and becomes brittle and dry. Below the surface, existing roots may become drowned if too much water settles into remaining air pockets and fails to supply oxygen to the roots, causing root death.

Tree Preservation

Tree preservation is a proactive measure that starts at the planning stage. Understanding the importance of tree roots in overall tree health and survivability is of the highest importance in implementing effective tree preservation measures. In cases where construction will take place near an existing tree and risk compaction or removal of soil within its root space or damage to above and/or below-ground tissue of the tree, a TPZ is established to mitigate any possible harm.

Work within the TPZ of any tree and involving surface removal or digging through soil would be considered serious root injury and could leave the tree with a high potential of structural failure or serious decline. Boxes or fences surrounding existing trees are based on the available space to establish at TPZ distances recorded in the field. Fencing is recommended to be installed at or beyond the minimum TPZ distance over permeable spaces and out to the edge of established hardscapes or the boundary of planters where growing space is restricted. During work for this project, it is necessary for hoarding fences to be established around trees within 6m of any work activity while equipment and crew are moving around. Any incidental damage to street trees is a violation of City of Burlington by-laws.

Tree Protection Hoarding

Hoarding (Tree Protection Fencing) is used on construction sites to ensure that damage to the tree and its root zone is prevented. This distance is typically located by the MTPZ. However, it must be understood that sometimes this distance is not achievable due to infrastructure. It must be further understood that the hoarding distance sometimes must accommodate a TPZ larger than the MTPZ due to a limited root growing area/volume (this area is typically defined by the project arborist).

Hoarding locations should be field marked by the project arborist, and hoarding installation will be installed by the contractor. This hoarding must be anchored to the ground and must be installed to the lines defined by the project arborist. All staging areas are understood to be outside the TPZ. At no time are materials, vehicles, or debris to be stacked, staged, or piled inside the hoarding. Hoarding must be installed prior to the start of construction, must be inspected by a City inspector, and remain in good condition. Refer to the appendices for materials and construction of this hoarding. This hoarding will create the TPZ.

Problems will arise for tree preservation efforts when anyone removes the hoarding, even temporarily. It takes one instance of soil compaction from a heavy machine for roots to suffer from

air and water deprivation and for the tree to become stressed. It is imperative to install and maintain in good condition the hoarding to prevent this from happening before and throughout the duration of construction.

Tree Protection Signs

Signs are required to be displayed on tree hoarding (see Appendix 4). These signs could be made in bulk at a discounted rate and installed on the hoarding in various locations. Signage informs the public and reminds the contractors of the significance of the TPZs and the efforts put forward by the client in tree preservation.

Conclusion

Out of the sixty-two (62) trees collected in the inventory for this report, twelve (12) are recommended for removal and one (1) is anticipated to be injured. All other trees are either far enough away from proposed construction or protected with hoarding. If all recommendations to establish hoarding and minimize injury to trees discussed in this report are followed, all trees to be retained within the scope of this project can be expected to fully recover from any stress caused by the construction.

In accordance with information and tree numbering listed in the tree inventory (Appendix 1), we provide the following recommendations:

- Tree protection must be erected as described in Appendix 3 (“Tree Protection Fencing Detail”) and inspected prior to beginning construction.
 - TPF is to be erected no less than the distances outlined in the By-law.
 - Any tree preservation barrier erected shall be done so to prevent material or equipment storage, foot traffic or construction within the protected areas.
 - Refer to the attached documents for the TPF diagram sanctioned by the Municipality of Burlington, ON. In any case where correct and approved procedures cannot be abided by to erect the fencing, contact an ISA certified Arborist to consult and/or construct the proper preservation barrier.
 - A “Tree Protection Zone” sign should be posted on the fencing, as directed by the By-law (refer to Appendix 5 “Tree Protection Zone Sign Detail”).
- Trees #1, #2, #4-#12, and #45 are required for removal due to the proposed construction.
 - It is recommended that a Certified Arborist perform tree removals prior to the commencement of construction activities.
 - A permit for tree removal will be required for the removal of Trees #1, #2, #4-#12, and #45. Permission from the City is required for the removal of Trees #1 and #2. Permission from neighbours is required for Trees #4-#12 and #45.
 - Twenty-seven (27) replacement trees are required for the removal of Trees #1, #2, #4-#12, and #45. The property owner has opted to plant one replacement tree and pay for the remaining twenty-six (26) as cash-in-lieu instead of replacement planting. Cash-in-lieu would come to \$7,467.50 for twenty-six (26) replacement trees (\$1,545 for the City-owned trees and \$5,922.50 for the private trees).
- Tree #42 is anticipated to incur injury due to the proposed construction.
 - A permit for tree injury is required for the injury of Tree #42.
 - Neighbour permission is required for the injury of Tree #42.
- All delivery for materials and equipment needed on this project shall take place to the driveway in the front of the home.
 - No construction materials or equipment are to be placed within the MTPZ of any protected trees at any time.
- No grade change shall take place during construction that would impact water drainage, by volume, into the MTPZ of any protected trees.

Appendix 1 – Tree Protection Action Key (TPAK)

Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Live Crown Ratio (%)	Deadwood (%)	Tree Height (m)	Crown Width (m)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Replacement trees required	Notes and Observations
1	London Plane Tree	<i>Platanus x. acerifolia</i>	11	C	2.4	G	G	G	50	0	2	3	Y	H	Remove	Y	2	Removal required due to grading. See "Appendix 3 - Public Tree Replacement Calculations" for replacement tree calculation. Replacement trees required may be changed at the discretion of the City of Burlington.
2	Serviceberry	<i>Amelanchier species</i>	6	C	1.8	G	G	G	50	0	2	3	Y	H	Remove	Y	1	Removal required due to driveway. See "Appendix 3 - Public Tree Replacement Calculations" for replacement tree calculation. Replacement trees required may be changed at the discretion of the City of Burlington.
3	White Spruce	<i>Picea glauca</i>	65	N	4.2	G	G	G	70	0	19	4	N	N	Protect	N	0	Broken branch
4	Eastern White Cedar	<i>Thuja occidentalis</i>	33	B	2.4	G	G	G	70	0	5	10	Y	H	Remove	Y	2	
5	Eastern White Cedar	<i>Thuja occidentalis</i>	41	B	3.0	G	F	G	70	5	7	12	Y	H	Remove	Y	3	
6	Eastern White Cedar	<i>Thuja occidentalis</i>	23	B	2.4	G	G	G	70	5	5	10	Y	H	Remove	Y	2	
7	Eastern White Cedar	<i>Thuja occidentalis</i>	32	B	2.4	G	F	G	70	5	5	10	Y	H	Remove	Y	2	
8	Eastern White Cedar	<i>Thuja occidentalis</i>	35	B	2.4	G	F	G	60	5	6	10	Y	H	Remove	Y	2	Multi stem 23, 26
9	Eastern White Cedar	<i>Thuja occidentalis</i>	49	B	3.0	G	G	G	60	5	6	10	Y	H	Remove	Y	3	Multi stem 31, 38
10	Eastern White Cedar	<i>Thuja occidentalis</i>	35	B	2.4	G	F	G	60	5	6	10	Y	H	Remove	Y	2	Multi stem 27, 23
11	Eastern White Cedar	<i>Thuja occidentalis</i>	48	B	3.0	G	F	G	60	5	6	10	Y	H	Remove	Y	3	Multi stem 37, 31

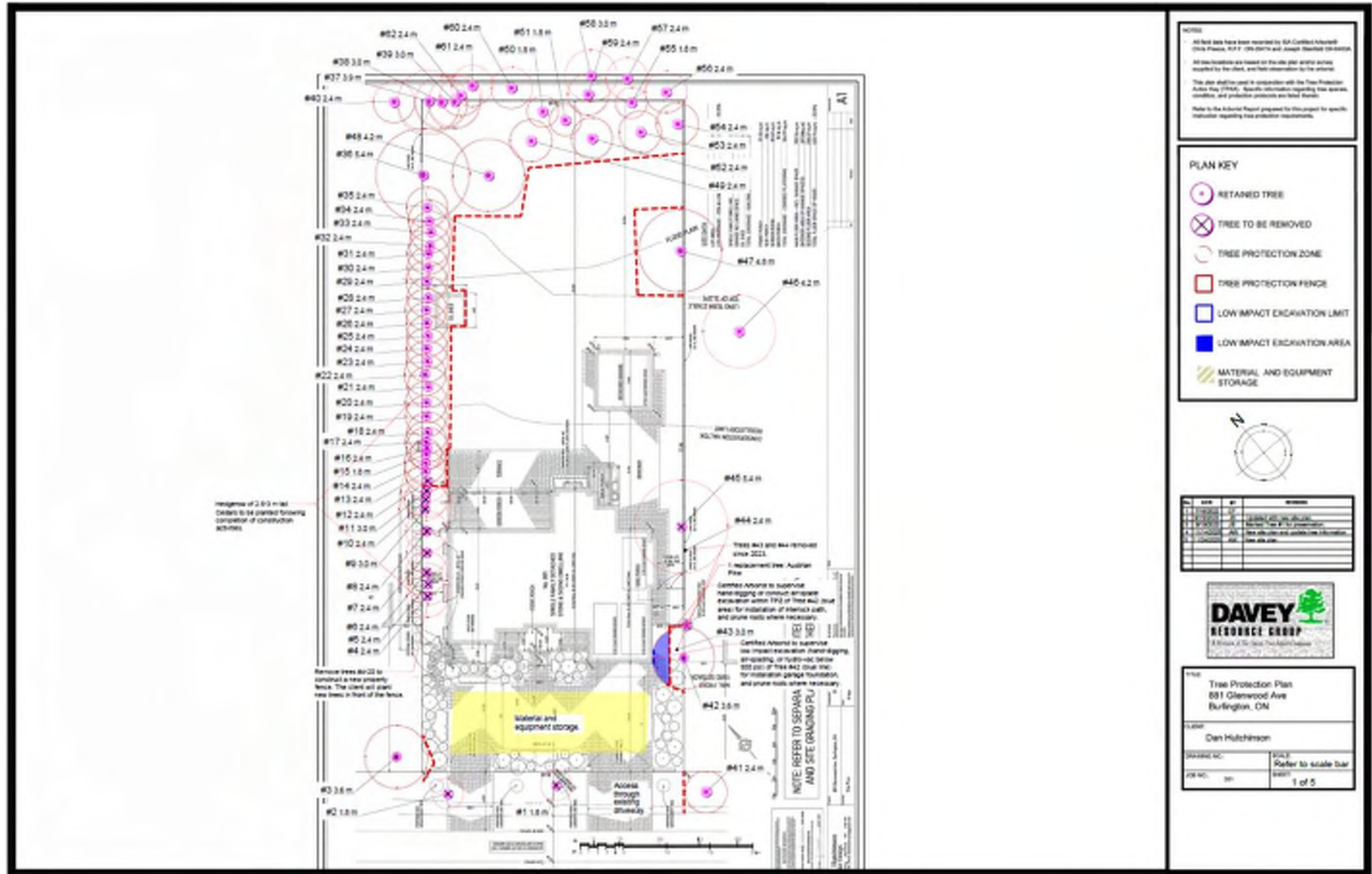
Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Live Crown Ratio (%)	Deadwood (%)	Tree Height (m)	Crown Width (m)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Replacement trees required	Notes and Observations
12	Norway Maple	<i>Acer platanoides</i>	21	B	2.4	G	F	G	40	5	5	8	Y	H	Remove	Y	2	
13	Eastern White Cedar	<i>Thuja occidentalis</i>	29	B	2.4	P	F	P	60	5	6	10	Y	H	Protect	N	0	Multi stem 18, 23
14	Eastern White Cedar	<i>Thuja occidentalis</i>	29	B	2.4	G	F	G	60	5	8	10	Y	H	Protect	N	0	Multi stem 11, 22, 16
15	Eastern White Cedar	<i>Thuja occidentalis</i>	13	B	2.4	G	F	G	50	5	4	11	Y	H	Protect	N	0	
16	Eastern White Cedar	<i>Thuja occidentalis</i>	37	B	2.4	G	G	G	50	5	9	12	Y	H	Protect	N	0	Multi stem 18, 21, 24
17	Eastern White Cedar	<i>Thuja occidentalis</i>	35	B	2.4	G	F	G	50	5	9	11	Y	H	Protect	N	0	Multi stem 19, 25, 15
18	Eastern White Cedar	<i>Thuja occidentalis</i>	42	B	3.0	F	F	G	50	5	8	10	Y	H	Protect	N	0	Multi stem 38, 17
19	Eastern White Cedar	<i>Thuja occidentalis</i>	28	B	2.4	G	F	G	50	5	5	10	Y	H	Protect	N	0	Multi stem 21, 19
20	Eastern White Cedar	<i>Thuja occidentalis</i>	30	B	2.4	G	G	G	50	5	6	10	Y	H	Protect	N	0	Multi stem 21, 12, 19
21	Eastern White Cedar	<i>Thuja occidentalis</i>	17	B	2.4	F	G	G	50	5	5	10	N	N	Protect	N	0	Multi stem 13, 11
22	Eastern White Cedar	<i>Thuja occidentalis</i>	38	B	2.4	F	F	G	50	5	5	10	N	N	Protect	N	0	Multi stem 19, 9, 9, 30
23	Eastern White Cedar	<i>Thuja occidentalis</i>	18	B	2.4	G	F	G	50	5	4	9	N	N	Protect	N	0	
24	Eastern White Cedar	<i>Thuja occidentalis</i>	37	B	2.4	G	F	G	50	5	9	10	N	N	Protect	N	0	Multi stem 28, 19, 14
25	Eastern White Cedar	<i>Thuja occidentalis</i>	18	B	2.4	F	F	G	50	5	6	10	N	N	Protect	N	0	Multi stem 13, 13
26	Eastern White Cedar	<i>Thuja occidentalis</i>	35	B	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	Multi stem 23, 21, 16
27	Eastern White Cedar	<i>Thuja occidentalis</i>	30	B	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	Multi stem 23, 16, 10
28	Eastern	<i>Thuja</i>	27	B	2.4	P	F	P	50	5	7	10	N	N	Protect	N	0	Multi stem 23, 14

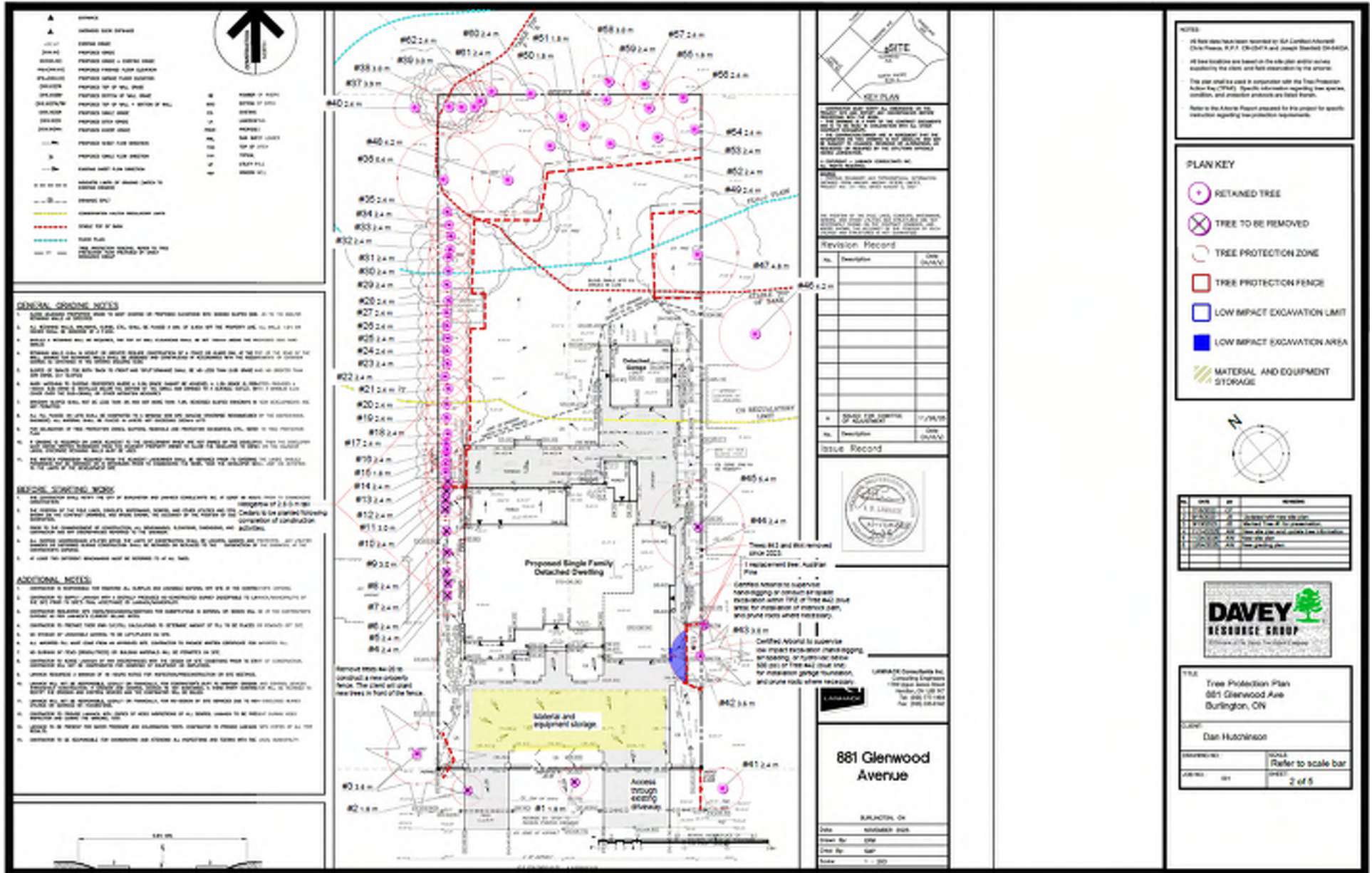
Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Live Crown Ratio (%)	Deadwood (%)	Tree Height (m)	Crown Width (m)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Replacement trees required	Notes and Observations
	White Cedar	<i>occidentalis</i>																
29	Eastern White Cedar	<i>Thuja occidentalis</i>	19	B	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	Multi stem 14, 10, 7
30	Eastern White Cedar	<i>Thuja occidentalis</i>	38	B	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	Multi stem 30, 20, 12
31	Eastern White Cedar	<i>Thuja occidentalis</i>	26	B	2.4	G	G	G	50	5	6	10	N	N	Protect	N	0	Multi stem 20, 13, 11
32	Eastern White Cedar	<i>Thuja occidentalis</i>	24	B	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	Multi stem 21, 12
33	Eastern White Cedar	<i>Thuja occidentalis</i>	28	B	2.4	G	G	G	50	5	4	10	N	N	Protect	N	0	Multi stem 20, 16, 11
34	Eastern White Cedar	<i>Thuja occidentalis</i>	17	B	2.4	G	G	G	50	5	5	10	N	N	Protect	N	0	
35	Eastern White Cedar	<i>Thuja occidentalis</i>	18	B	2.4	G	G	G	50	5	8	7	N	N	Protect	N	0	
36	Siberian Elm	<i>Ulmus pumila</i>	86	B	5.4	F	F	F	40	30	12	17	N	N	Protect	N	0	Multi stem 76, 40, Deadwood, crown dieback, dead stem
37	Siberian Elm	<i>Ulmus pumila</i>	51	B	3.6	P	P	P	5	90	7	15	N	N	Protect	N	0	Dying
38	Siberian Elm	<i>Ulmus pumila</i>	44	B	3.0	P	P	P	5	90	6	15	N	N	Protect	N	0	Dying
39	Siberian Elm	<i>Ulmus pumila</i>	43	B	3.0	P	P	P	5	90	7	15	N	N	Protect	N	0	Dying
40	Red Maple	<i>Acer rubrum</i>	39	N	2.4	G	G	G	50	0	9	12	N	N	Protect	N	0	
41	Magnolia	<i>Magnolia species</i>	12	N	2.4	G	G	G	70	0	6	4	N	N	Protect	N	0	
42	Austrian Pine	<i>Pinus nigra</i>	56	B	3.6	G	G	G	50	5	12	14	Y	M	Injure	Y	0	Retain with injury. Permission from neighbour required for injury as this is a shared (boundary) tree. Certified Arborist to supervise hand-digging or conduct air-spade excavation within TPZ of Tree #42 (blue area) for installation of interlock path, and prune roots where necessary. Certified Arborist to supervise low impact excavation (hand-digging, air-spading, or

Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Live Crown Ratio (%)	Deadwood (%)	Tree Height (m)	Crown Width (m)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Replacement trees required	Notes and Observations
																		hydro-vac below 500 psi) of Tree #42 (blue line) for installation garage foundation, and prune roots where necessary.
43	Austrian Pine	<i>Pinus nigra</i>																Removed since 2023
44	Cedar	<i>Thuja occidentalis</i>																Removed since 2023
45	Black Walnut	<i>Juglans nigra</i>	85	B	5.4	G	G	G	50	5	15	17	Y	H	Remove	Y	3	Close to power line, dead twig
46	Black Walnut	<i>Juglans nigra</i>	65	N	4.2	G	G	G	60	5	13	16	N	N	Protect	N	0	
47	Black Walnut	<i>Juglans nigra</i>	62	P	4.2	G	G	G	70	5	15	17	N	N	Protect	N	0	Close to power line
48	Black Walnut	<i>Juglans nigra</i>	64	P	4.2	G	G	G	70	5	15	17	N	N	Protect	N	0	
49	Black Locust	<i>Robinia pseudoacacia</i>	15	P	2.4	G	G	G	50	5	7	10	N	N	Protect	N	0	
50	Black Locust	<i>Robinia pseudoacacia</i>	5	P	1.8	G	G	G	60	5	6	4	N	N	Protect	N	0	
51	Black Locust	<i>Robinia pseudoacacia</i>	10	P	1.8	G	G	G	30	5	4	9	N	N	Protect	N	0	
52	Black Locust	<i>Robinia pseudoacacia</i>	17	P	2.4	G	F	G	50	5	6	9	N	N	Protect	N	0	Creepers on tree
53	Black Locust	<i>Robinia pseudoacacia</i>	15	P	2.4	G	G	G	50	5	7	9	N	N	Protect	N	0	Creepers
54	Manitoba Maple	<i>Acer negundo</i>	13	P	2.4	G	G	G	50	30	4	5	N	N	Protect	N	0	Dying crown, 1 stem dead

Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Live Crown Ratio (%)	Deadwood (%)	Tree Height (m)	Crown Width (m)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Replacement trees required	Notes and Observations
55	Norway Maple	<i>Acer platanoides</i>	9	P	1.8	G	G	G	40	5	4	6	N	N	Protect	N	0	
56	Manitoba Maple	<i>Acer negundo</i>	40	N	2.4	F	F	F	60	5	9	12	N	N	Protect	N	0	Creeper on tree
57	Mulberry	<i>Morus alba</i>	15	N	2.4	G	G	G	60	5	6	7	N	N	Protect	N	0	
58	Black Walnut	<i>Juglans nigra</i>	45	N	3.0	G	G	G	50	5	12	15	N	N	Protect	N	0	
59	Manitoba Maple	<i>Acer negundo</i>	12	N	2.4	F	F	F	70	10	4	7	N	N	Protect	N	0	Creeper, crown dieback
60	Manitoba Maple	<i>Acer negundo</i>	20	N	2.4	F	F	F	70	10	5	9	N	N	Protect	N	0	Dieback
61	Black Walnut	<i>Juglans nigra</i>	35	N	2.4	G	G	G	50	5	9	13	N	N	Protect	N	0	
62	Manitoba Maple	<i>Acer negundo</i>	12	B	2.4	F	F	F	60	10	8	5	N	N	Protect	N	0	Multi stem 5, 5, 10

Appendix 2 – Tree Protection Plan (Preview, to be printed to scale at 11x17”)



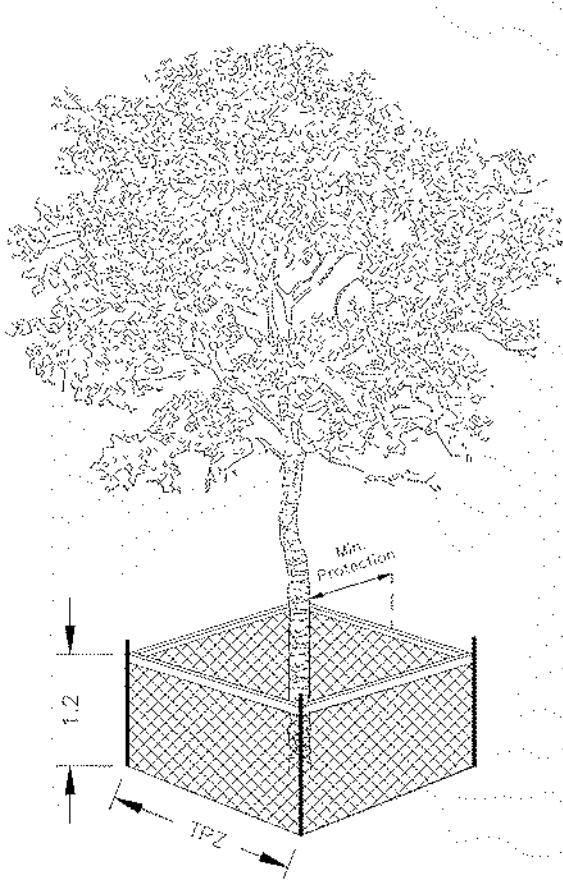


Appendix 3 – Public Tree Replacement Calculations

Tree #	Species	DBH (cm)	Health Condition	Structural Condition	Average	Limited Aggregate	Replacement Tree Size (cm)	Replacement Trees Required
1	London Plane Tree	11	Good	Good	0.8	9	5	2
2	Serviceberry	6	Good	Good	0.8	5	5	1

Appendix 4 – Tree Protection Fencing Detail

Tree Protection and Preservation Specification No.: SS12A



Detail TP-1 – Tree Protection Detail.

Trunk Diameter (DBH) ²	Minimum Tree Protection Zone (MTPZ) Distances Required ³	Critical Root Zone (CRZ) Distances Required ^{3,4}
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100+ cm	6.0 m	10.0 m

NOTES:

¹ The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line.

² Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.

³ Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.

⁴ Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

1. The required barrier is a 1.2 metre (4 ft) high orange plastic web snow fencing on 2" x 4" frame. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing with reflective tape can be used.
2. Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction operations with breaks and unsupported sections repaired immediately. Tree protection may be not be removed prior to the completion of construction without written authorization from the City Arborist.
3. All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to roots.
4. Where some fill or excavated material must be temporarily located near a MTPZ, a wooden barrier with silt fencing must be used to ensure no material enters the MTPZ.
5. No materials or fill may be stored within the MTPZ.
6. Equipment or vehicles shall not be operated, parked, repaired, or refueled within the MTPZ.
7. No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the MTPZ without written authorization from the City Arborist.
8. A laminated Minimum Tree Protection Zone sign (See Detail TP-3 – Minimum Tree Protection Zone Sign) must be attached to the side of the Tree Protection where it will be visible by persons entering the site. Minimum size must be 10"x14".

Source: Corporation of the City of Burlington Specifications for Tree Protection and Preservation (spec no. SS12A).

Appendix 5 – Tree Protection Zone Sign Detail

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TREE PROTECTION ZONE (TPZ)

No equipment or vehicles shall be operated, parked, repaired or refueled within the Tree Protection Zone.

No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

No materials or fill may be stored within the Tree Protection Zone.

This tree protection barrier must not be removed prior to the completion of construction without written authorization from the City of Burlington, Urban Forestry Department.

*For information, contact:
City of Burlington, Development and Infrastructure Division,
905-335-7642.*



Tree Protection and Preservation
Specification No.: SS12A

Detail TP-3 – Minimum Tree Protection Zone Sign

Source: Corporation of the City of Burlington Specifications for Tree Protection and Preservation (spec no. SS12A).

Appendix 6 – Photographs



Photo 1. Trees #1 through #3 (left to right).



Photo 2. Trees #4 through #24 (left to right).



Photo 3. Trees #24 through #29 (left to right).



Photo 4. Naturalized area at rear of property.



Photo 5. Tree in the rear of the property.



Photo 6. Trees in the rear of the property.



Photo 7. Trees #42 and #45 (right to left).

Appendix 7 – Glossary of Common Arboricultural Terms

Arborist	A professional who possesses the technical competence gained through experience and related training to provide for or supervise the management of trees and other woody plants in residential, commercial, and public landscapes.
ANSI A300	Acronym for American National Standards Institute. In the United States, industry-developed, national consensus standards of practice for tree care.
Bark Tracing	Cutting away torn or injured bark to leave a smooth edge.
Branch Bark Ridge	Raised strip of bark at the top of a branch union, where the growth and expansion of the trunk or parent stem and adjoining branch push the bark into a ridge.
Callus wood	Undifferentiated tissue formed by the cambium, usually as the result of wounding.
Clinometer	A device used to calculate the height of trees.
Consulting Arborist	An Arboricultural consultant is one of the following: <ul style="list-style-type: none"> • American Society of Consulting Arborists, Registered Consulting Arborist (ASCA RCA# ___) • International Society of Arboriculture, Board Certified Master Arborist (ISA BCMA # ___B) • ISA Certified Arborist/Municipal Specialist in good standing for a minimum of 6 years with 6 years of proven experience in a management role related to arboriculture, and has attested and signed to a code of ethics related to arboriculture (ISA# ___)
Compartmentalization	Natural defense process in trees by which chemical and physical boundaries are created that act to limit the spread of disease and decay organisms
Critical Root Zone – (CRZ)	Area of soil around a tree where the minimum amounts of roots considered critical to the structural stability or health of the tree are located. CRZ determination is sometimes based on the drip line or a multiple of dbh (12:1, 12cm of ground distance from the trunk for every cm of dbh) but because root growth is often asymmetric due to site conditions, on-site investigation is preferred.
Daylighting	Also known as Hydro-vac, this is the process by which soil is vacuumed up. In the context of tree care this allows workers to access the soil below the roots without mortal damage to significant roots.
DBH	Acronym for tree diameter at breast height. Measured at 1.4m above ground.
Decurrent	Rounded or spreading growth habit of the tree crown.
Directional Pruning	Providing clearance by pruning branches that could significantly affect the integrity of utility facilities or other structures, and leaving in place branches that could have little or no effect.
Dripline	Imaginary line defined by the branch spread of a single parent or group of plants
Excurrent	Tree growth habit characterized by a central leader and a pyramidal crown.
Included bark	Bark that becomes embedded in a crotch (union) between branch and trunk or between codominant stems. Causes a weak structure.
Lion's Tailing	Poor pruning practice in which an excessive number of branches are thinned from the inside and lower part of specific limbs or a tree crown, leaving mostly terminal foliage. Results in poor branch taper, poor wind load distribution, and higher risk of branch failure.
MTPZ	Acronym for Minimum Tree Protection Zone, also known as the Structural Root Zone (SRZ), which is the distance from the tree equal to 6 times the dbh, within which the likelihood of encountering roots that are structural supports for the tree.
Moment	Rotational force that is created by any line force on a body. The magnitude of a moment is defined as the product of the force magnitude and perpendicular distance from the line of action of the force to the axis of which the moment is being calculated.
Mortality Spiral	A sequence of stressful events or conditions causing the decline and eventual death of a tree.

Mulch	Material that is spread or sometimes sprayed on the soil surface to reduce weed growth, to retain soil moisture and moderate temperature extremes, to reduce compaction from pedestrian traffic or to prevent damage from lawn-maintenance equipment, to reduce erosion or soil spattering onto adjacent surfaces, to improve soil quality through its eventual decomposition, and/or to improve aesthetic appearance of the landscape. Mulch can be composed of chipped, ground, or shredded organic material such as bark, wood, or recycled paper; unmodified organic material such as seed hulls; organic fiber blankets or mats; or inorganic material such as plastic sheeting.
Organic Matter	Material derived from the growth (and death) of living organisms. The organic components of the soil.
CRZ	Acronym for Critical Root Zone, also known as the Critical Root Zone (see definition above), within which there is a high likelihood of encountering roots that are necessary for the survival for the tree.
Project Arborist	The consulting arborist retained to provide all tree preservation recommendations to the project manager or contractors on a given construction project.
Qualified Arborist	An arborist who has documented related training (i.e. ISA, MTCU, or equivalent) and on-the-job experience (minimum of 5 years)
Radial trenching	Technique for aerating the soil or alleviating compaction around a tree by removing and replacing soil (which may be amended) in trenches (typically 300mm deep and 150mm wide) made in a spoke like pattern (radially from the trunk) in the root zone to improve conditions for root growth.
Reaction Wood	Wood formed in leaning or crooked stems or on lower or upper sides of branches as a means of counteracting the effects of gravity.
Removal Cut	A cut that removes a branch at its point of origin. Collar cut.
Reduction Cut	A pruning cut that reduces the length of a branch or stem back to a lateral branch large enough to assume apical dominance.
Resistograph®	A brand name of a device consisting of a specialized micro-drill bit that drills into trees and graphs density differences that are used to detect decay.
Soft-Scaped	Landscaping practices that do not involve solid or deeply-dug foundations. Patios consisting of slab rocks laid on-top of the soil with minimal excavation and base (less than 10cm) and causing minimal damage to existing tree roots.
Static Support System	Cabling system that utilizes rigid materials such as rods and steel cables to limit movement and provide constant support of limbs.
Structural cells	Modular system consisting of units of soil and integrated support structures that serve both as a foundation for paved surfaces and a hospitable environment for tree root growth,
Structural pruning	Pruning to establish a strong arrangement or system of scaffold branches.
Structural Soil™	Pavement substrate that can be compacted to meet engineering specifications yet remains penetrable by tree roots in the urban environment. Composed of angular crushed stone, clay loam, and hydrogel mixed in a weight ratio of 100:20:0.03. Developed at the Urban Horticulture Institute, Cornell University, Ithaca, NY.
Supersonic Air Excavation Techniques (SSAT)	A methodology using a device that directs a jet of highly compressed air to excavate soil. Used within the root zone of trees to avoid or minimize damage to the roots, or near underground structures such as pipes and wires to avoid or minimize damage to them.
Tree Protection Zone (TPZ)	Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction. TPZ is sometimes based on a minimum multiple of dbh (e.g. 6:1, 6cm of ground distance from the trunk for 1cm of dbh)

Walls	<p>Trees have 4 walls in a process known as compartmentalization.</p> <ul style="list-style-type: none"> • Wall 1 prevents decay moving up and down in a tree • Wall 2 prevents decay moving inward in a tree • Wall 3 prevents decay moving laterally in a tree • Wall 4 is the new growth formed on the outside of the tree, callus growth.
Woundwood	Lignified, differentiated tissues produced on woody plants after wounding.

Appendix 8 – References

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2. Dujesiefken, Dr. Dirk, 2012. Director of the Institute for Tree Care in Germany, The CODIT Principle, research presented on cambial regrowth on trees after injury at the Annual ISA Conference in Kingston Ontario
3. Sinclair and Lyon, 2005. Diseases of Trees and Shrubs, Second Edition
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6. Matheny and Clark, ISA, 1994. A Photographic Guide to the Evaluation of Hazard Trees in Urban Areas, 2nd Edition
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8. PNW-ISA, 2011. Tree Risk Assessment in Rural Areas and Urban/Rural Interface, Version 1-5
9. The Corporation of the City of Burlington, 2013. City of Burlington By-law 68-2013.
10. The Corporation of the City of Burlington, 2022. City of Burlington By-law 40-2022.
11. Todd Hurt & Bob Westerfield, 2005. Tree Protection During Construction and Landscaping Activities
12. The Corporation of the City of Burlington, 2013. Corporation of the City of Burlington Specifications Index for Tree Protection and Preservation (spec no. SS12A).

Appendix 9 – Arborist Qualifications

Alex Weegen, R.P.F. is an Urban Forester and GIS Specialist with Davey Resource Group. They have obtained a Bachelor of Science in Ecology focusing on resource conservation from the University of Guelph, and later completed a Master of Forest Conservation at University of Toronto. They have over 10 years of varied work experience in forestry, urban forestry, arboriculture, tree inventory and tree risk assessment.

Certifications

- International Society of Arboriculture Certified Arborist® (ON-1951A)
 - International Society of Arboriculture Tree Risk Assessment Qualification (TRAQ)
 - Registered Professional Forester (#2558)
 - Certified Ontario Tree Marker
 - Managed Forest Plan Approver (#565)
-

Joseph Steinfeld is the Manager, Urban Forestry for Eastern Canada with Davey Resource Group. His formal education includes a Bachelor of Science in Ecology, Evolution, and Natural Resources with a focus in Forest and Landscape Ecology from Rutgers, the State University of New Jersey. Mr Steinfeld has over ten years of varied work experience in the forestry, arboriculture, and ecological assessment fields. Mr. Steinfeld has worked with DRG for over six years as an Inventory Arborist, Asian Longhorned Beetle Damage Surveyor, Urban Forester, Site Manager, and Consulting Arborist.

Certifications:

- International Society of Arboriculture Certified Arborist (OH-6403A)
 - ISA Tree Risk Assessment Qualification (TRAQ)
-

Christopher Preece was a consulting R.P.F. and Arborist with Davey Resources Group. His formal education includes a Bachelor of Environmental Management at York University with a certificate in sustainable energy as well as a Masters of forest Conservation from the University of Toronto, with a focus in long term forest productivity. Mr. Preece has a varied work experience in forestry, field research and arboriculture fields. Mr. Preece has worked with well-known forest researchers around the world and has spent three years working in private forestry and Urban forestry in Southern Ontario.

Certifications

International Society of Arboriculture Certified Arborist (ON-2547A) Forestry Grade Exterminator License # 32964

Registered Professional Forester R.P.F. #2613

Appendix 9 - Conditions of Assessment Agreement

This Conditions of Assessment Agreement is made pursuant to and as a provision of Davey Resource Group, a division of The Davey Tree Expert Co. of Canada, Limited (“Davey”), providing tree assessment services as agreed to between the parties, the terms and substance of which are incorporated in and made a part of this Agreement (collectively the “Services”).

Trees are living organisms that are subject to stress and conditions and which inherently impose some degree or level of risk. Unless a tree is removed, the risk cannot be eliminated entirely. Tree conditions may also change over time even if there is no external evidence or manifestation. In that Davey provides the Services at a point in time utilizing applicable standard industry practices, any conclusions and recommendations provided are relevant only to the facts and conditions at the time the Services are performed. Given that Davey cannot predict or otherwise determine subsequent developments, Davey will not be liable for any such developments, acts, or conditions that occur including, but not limited to, decay, deterioration, or damage from any cause, insect infestation, acts of god or nature or otherwise.

Unless otherwise stated in writing, assessments are performed visually from the ground on the above-ground portions of the tree(s). However, the outward appearance of trees may conceal defects. **Therefore, to the extent permitted by law, Davey does not make and expressly disclaims any warranties or representations of any kind, express or implied, with respect to completeness or accuracy of the information contained in the reports or findings resulting from the Services beyond that expressly contracted for by Davey in writing, including, but not limited to, performing diagnosis or identifying hazards or conditions not within the scope of the Services or not readily discoverable using the methods applied pursuant to applicable standard industry practices.** Further, Davey’s liability for any claim, damage or loss caused by or related to the Services shall be limited to the work expressly contracted for.

In performing the Services, Davey may have reviewed publicly available or other third- party records or conducted interviews, and has assumed the genuineness of such documents and statements. Davey disclaims any liability for errors, omissions, or inaccuracies resulting from or contained in any information obtained from any third- party or publicly available source.

Except as agreed to between the parties prior to the Services being performed, the reports and recommendations resulting from the Services may not be used by any other party or for any other purpose. The undersigned also agrees, to the extent permitted by law, to protect, indemnify, defend and hold Davey harmless from and against any and all claims, demands, actions, rights and causes of action of every kind and nature, including actions for contribution or indemnity, that may hereafter at any time be asserted against Davey or another party, including, but not limited to, bodily injury or death or property damage arising in any manner from or in any way related to any disclaimers or limitations in this Agreement.

By accepting or using the Services, the customer will be deemed to have agreed to the terms of this Agreement, even if it is not signed.

Acknowledged by:

Name of Customer: _____

Authorized Signature: _____

Date: _____