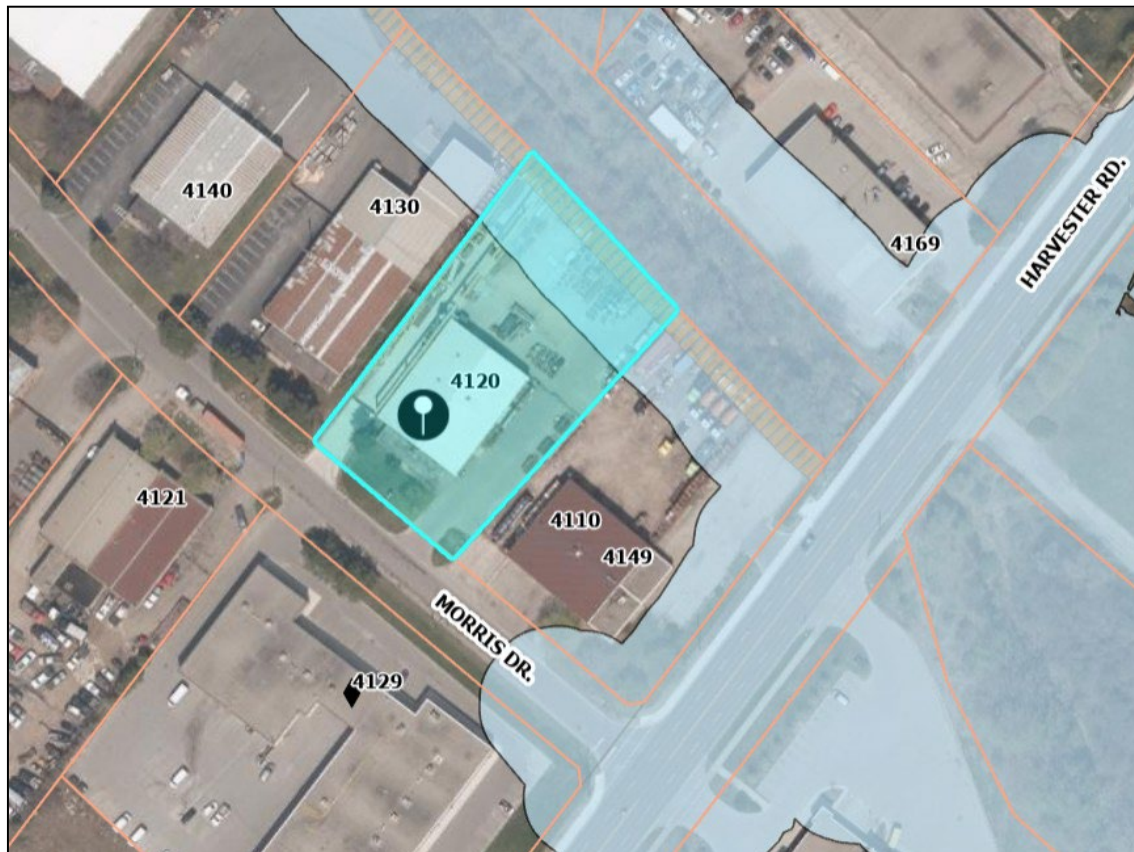


**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): 919686 Ontario Inc
Address: 4120 Morris Dr. Burlington
File No. **A-090/25**
Ward: 4



Staff Comments:

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: December 17, 2025

Prepared By: E. Shacklette

**COMMITTEE OF ADJUSTMENT
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Zoning

The subject property is zoned GE1 (General Employment), under Zoning By-Law 2020, as amended. The GE1 zone requires, among other things, the following:

2.25 OFF-STREET PARKING AND LOADING REQUIREMENTS

Table 1.2.6: Off-Street Parking Standards

USE	PARKING STANDARD
Industrial Uses	1 space per 100 m ² gross floor area, except those uses classified more specifically in Table 1.2.6

Use	Rate	Calculation	Required Parking	Provided Parking
General Industrial (manufacturing)	1 space per 100m ² of gross floor area	1919/100 x 1	20 spaces	18 spaces (1919/100 x 0.9 = 17.27 = 18 spaces)

2.26 GENERAL PARKING PROVISIONS

(1) Parking Space Size & Accessibility

- (a) Each parking space shall have a minimum width of 2.75 m and a minimum area of 16.5 m² and be readily accessible without obstructions at all times for parking and removal of a motor vehicle without the necessity of moving any other vehicle or obstruction. The minimum area of a parking space may include walkways for residential uses only.

2.2 ACCESSORY BUILDINGS AND STRUCTURES AND UNITARY EQUIPMENT

- 2.2.2 For all other uses not mentioned in 2.2.1 and except where specified in the respective zone, the yard requirements for a principal building shall apply to accessory buildings and accessory structures.

6.	GE1, GE2 ZONE REGULATIONS (GENERAL EMPLOYMENT)
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6.1	LOT WIDTH, AREA, YARDS
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Table 3.6.1

Regulation	GE1 Zone
Side Yard	4.5 m

**COMMITTEE OF ADJUSTMENT
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Proposal:

The applicant is proposing the construction of single storey rear addition to an existing one storey building containing a manufacturing use. The proposal was reviewed through a Site Plan Approval application for a minor modification to the existing industrial development, under file MM-009/25 and received draft approval with conditions on November 11, 2025.

Through review of the proposal, there are three Zoning deficiencies identified that require a minor variance prior to final Site Plan Approval being granted. Variances are required to permit a parking reduction, to permit two parking spaces at the rear of the building to not be readily accessible at all times and to permit a reduced north side yard setback to an existing accessory structure (loading crane) which is utilized by the business.

Variances required:

1. To permit a 0.9m north-west side yard instead of the minimum required 4.5m for an existing loading crane accessory structure.
2. To permit 0.9 parking spaces per 100m² of gross floor area (18 spaces) instead of the minimum required 1 space per 100m² of gross floor area (20 spaces) for a 1919m² one storey industrial building.
3. To permit two required parking spaces that are not readily accessible without obstructions at all times whereas Zoning By-law 2020 requires parking spaces to be readily accessible at all times without the necessity of moving any other vehicle or obstruction.

Condition:

1. The applicant shall apply for a Zoning Clearance Certificate.

Notes:

1. The application was reviewed under Section 45(1) of The Planning Act.
2. Conservation Halton approval is required.

Date: February 13, 2026Prepared By: Nathan Dart, CPT

**COMMITTEE OF ADJUSTMENT
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Site Planning

Site Characteristics	
Lot Frontage (m)	45.72 m
Lot Area (m²)	4,280 m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Single-storey industrial building, accessible by two separate vehicular access points from Morris Drive and enclosed by a chain link fence. The loading crane accessory structure referenced in variance #1 is located in the northwest side yard.
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Mostly flat and level
Notable Site Features	Flood plain associated with Shoreacres Creek (at rear of subject property)
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Various industrial and employment uses
Nearest Major Intersection	Walker's Line / Harvester Road
Neighbourhood Boundaries* *Based on OP, 1997 residential neighbourhood definition	North: QEW East: Appleby Line South: Harvester Rd West: Walker's Line

Neighbourhood Characteristics:

- The subject lands are surrounded by various industrial and employment uses which are predominantly enclosed in single-storey buildings and facilities.
- Directly north of the site is a one-storey industrial building occupied by a company called Mars Metal, engaged in lead casting, lead fabrication, lead finishing and custom lead products and to the south of the site is a one-storey industrial building identified as Presvac Plant #3, which is also owned by the applicant
- Multi-unit developments, containing office and miscellaneous uses, are also present
- Higher levels of noise and air pollution may exist due to the presence of heavy vehicles in the vicinity

A site visit was conducted on March 9th, 2026 and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Do the proposed minor variances from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

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Regional Official Plan (2022):

The proposed minor variances, along with the associated site plan application, facilitate a rear addition to support the operations of *Presvac Systems Ltd* – a longtime manufacturer of standard and custom vacuum trucks and equipment in the *City of Burlington*. Staff are of the opinion that the requested variances support regional economic development goals and meet the general intent and purpose of the ROP. Specifically, the proposal meets the general intent and purpose of the *Regional Official Plan, 2022 (ROP, 2022)* for the following reasons:

- The variances support the expansion of Presvac Systems Plant #2 by facilitating construction of a new addition and accessory crane structure, consistent with the Regional Official Plan vision of a prosperous economy and the need for businesses and employers to remain innovative and competitive. A key goal for economic development in Halton Region is to achieve an environment which promotes entrepreneurship as well as the retention and growth of existing businesses.
- Section 168 states that economic prosperity shall be based on “a competitive location, innovative businesses, skilled labour force, high quality infrastructure, sustainable natural resources, a positive business environment with a diversified economic base”.
- The subject lands are an appropriate location for the expansion, since they are located within the Urban Area and are designated for employment use.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

Official Plan, 1997 & 2020

Parts of *Burlington Official Plan, 2020 (BOP, 2020)* are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under *BOP, 2020* and the older *Burlington Official Plan 1997 (BOP, 1997)*.

The proposal meets the general intent and purpose of the Official Plan for the following reasons:

- The proposal is consistent with uses permitted under the site’s ‘General Employment’ land use designation according to Schedule ‘B’ (Comprehensive Land Use Plan – Urban Planning Area) of *BOP, 1997*, as amended, which permits a full range of industrial, manufacturing and office uses.
- The variances would facilitate the expansion of an employment use, consistent with Part III Section 3.1 of the Official Plan states that a key principle of Burlington’s Employment Lands is to strengthen the economic base by “providing a municipal environment that encourages the establishment, retention and expansion of businesses and institutions” while also acknowledging balancing physical, social, economic and environmental demands and constraints.

**COMMITTEE OF ADJUSTMENT
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-
- Under Section 3.3.2 a), the General Employment designation permits industrial uses that involve assembling, fabricating, manufacturing, processing, warehousing and distribution.
 - The proposed variances, for reduction side yard and parking requirements, support the expansion of a long-time manufacturer, *Presvac Systems Ltd*
 - The application encourages the retention of an existing industrial use
 - The proposal is consistent with site design and development factors that BOP, 1997 states shall be considered for new and/or expanding General Employment uses, including:
 - *Loading areas shall be located to avoid conflict between pedestrian and vehicular traffic away from adjacent residential areas and adjoining roads*". Overhead doors have been located to avoid conflict between pedestrian and vehicular traffic.
 - *Outdoor storage areas shall be fenced and/or screened*
Significant outdoor storage currently exists on-site which poses some adverse impacts and is visible from Harvester Road. The proposed variances to facilitate the rear addition and encompass all required storage within the building, as confirmed by the Owner.
 - *The number and location of vehicular access points shall be limited to minimize disruption to traffic flows*
The two vehicular access points are existing to remain and have been acknowledged by Transportation staff
 - *The proposal provides convenient access to public transit services*
The subject property is within a 190 metre walk of the nearest public transit stop (along Harvester Road)
 - *The proposal includes features to promote public safety*
There are several entrance doors available to employees and a designated walkway has now been incorporated into the design to ensure safe pedestrian access to the front entrance
 - *Off-street parking areas, loading areas and service areas shall be screened and landscaped*
The proposal includes enhanced landscaping in the front yard which will screen the parking areas and improve the overall streetscape.

Based on the above, Staff are of the opinion that the requested variances satisfy the required site design considerations and meet the general intent and purpose of the Official Plan.

2) City of Burlington Zoning By-law 2020:

Do the proposed minor variances from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes - Variance 1 (Reduced Side Yard)

The subject property is zoned GE1, or General Employment, under Zoning By-law 2020, as amended. Part 3 Table 3.6.1 of the bylaw requires a minimum side yard of 4.5

**COMMITTEE OF ADJUSTMENT
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metres in the GE1 zone in order to provide adequate separation between adjacent buildings, ensure fire safety, allow access to the rear of the property and to provide space for drainage. The proposed minor variance to permit a reduced 0.9 metre north-west side yard setback is consistent with this intent for the following reasons:

- The existing building and proposed addition have a northwest side yard of 9.05 metres, measured at the nearest point. This exceeds the minimum required and maintains suitable separation between the building on the abutting property. Although this area continues to remain largely open and uncovered to the sky, the variance is triggered by the setback measurement to the new overhead crane structure
- As evident in the site photographs, the crane is comprised of non-combustible steel beams and columns including an overhead rail and hoist intended to facilitate deliveries and operations. The driveway consists of heavy-duty concrete surfacing intended to also function as a designated fire route and provide access to the two additional parking spaces at the rear of the property (discussed further in the report).
- Development Engineering as well as the Fire and Building Department have not raised any objections to the proposed minor variances

Yes - Variance 2 (Reduced Parking)

Part 1, Section 2.25 of the By-law sets out off-street parking standards with the intent to ensure adequate parking supply based on standardized parking requirements for various uses as prescribed in the Zoning By-law. The proposed minor variance to permit an Industrial rate of 0.9 instead of the minimum required 1 parking space per 100 m² of gross floor area is consistent with this intent for the following reasons:

- The proposed rear addition generates a requirement for an additional eleven parking spaces, bringing the total for the site to 20 whereas only 18 are provided including one designated accessible space, three bicycle parking spaces, and an additional loading space beneath the new canopy roof
- Although the zoning by-law states that all required parking shall be provided and maintained on the property, it is worth noting that *Presvac Systems* has its office and headquarters located nearby at 4131 Morris Drive, which is within the same zone designation and offers additional parking for customers and employees.
- The building subject to this minor variance application will not include any associated business office space which would typically account for a higher parking demand.
- The requirement for parking supply is further reduced by the close proximity to public transit along Harvester Road. With the nearest bus stop within 190 metres. Route 80 runs between Appleby and Burlington Go Stations, offering local and regional transit network connections.
- Transportation staff have also reviewed the application and have no objections to the variances proposed.

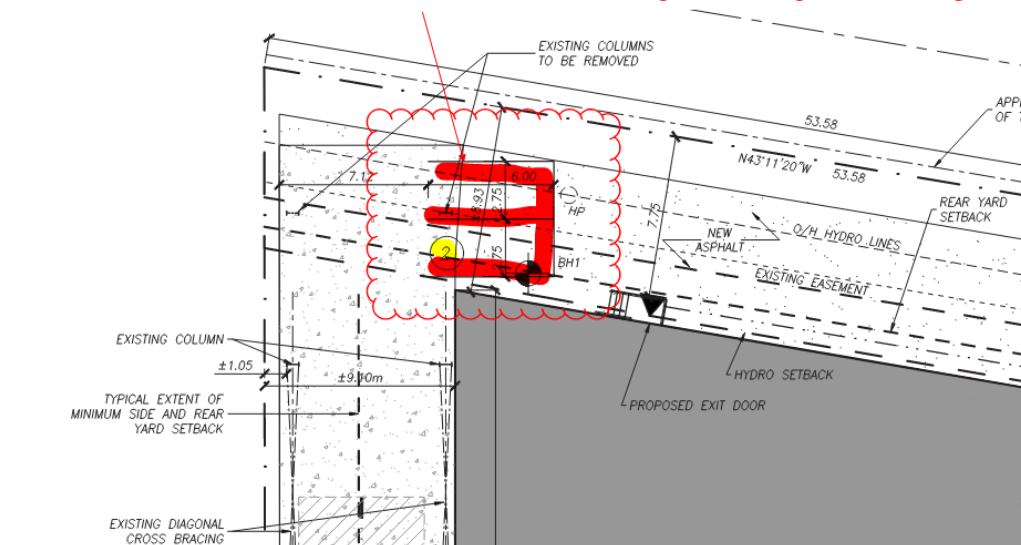
**COMMITTEE OF ADJUSTMENT
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Yes - Variance 3 (Parking Access)

The zoning bylaw requires that each parking space shall be readily accessible without obstructions at all times. The intent of this regulation is to ensure that parking and removal of a motor vehicle can be made without the necessity of moving any other vehicle or obstruction. The proposed minor variance to permit two required parking spaces which are not readily accessible at all times is consistent with this intent for the following reasons:

- Two parking spaces are proposed at the rear of the addition and abutting the overhead crane structure, which was designed to receive heavy material deliveries. An additional variance was identified as these operations may at times temporarily obstruct motor vehicle access.
- Staff are of the understanding that the two parking spaces at rear are intended for *Presvac* employees only. Given the anticipated infrequency of deliveries, which will likely occur during shift hours when employees have already arrived on the site, loading and unloading activities are unlikely to interfere with parking maneuvers.
- Combined with rationale for reduction in parking listed above, Staff are of the opinion that parking requirements can still be satisfied

VARIANCE #3 - Spaces will not be readily accessible when loading/unloading is occurring



The two obstructed parking spaces are circled above

3) Desirability:

Are the proposed minor variances from the Zoning By-law desirable for the appropriate development or use of the land, building or structure?

Yes

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The proposed minor variances are desirable for the appropriate development and use of the building for the following reasons:

- The proposed variances support an ongoing site plan application which, received conditional approval in November 2025 and, facilitates the expansion of a long-time employer producing custom mobile vacuum trucks for industries in Canada and the US
- The proposed industrial addition will enclose the outdoor storage which currently exists on the site and consolidate operations for the manufacturer
- Additional landscaping and screening in the front yard will add a functional and aesthetic quality while introducing buffering measures

4) Minor in Nature:

Are the proposed minor variances from the Zoning By-law considered minor in nature?

Yes

The proposed minor variances are minor in nature for the following reasons:

- The employment activities on site are compatible with adjacent land uses and do not deviate from the existing industrial operations
- The site is well served by public transit and within very close proximity to the head office and central manufacturing facility of *Presvac Systems Ltd* at 4131 Morris Drive (which offers additional parking for customers and employees)
- The reduced yard variance is for an overhead crane, comprised of exposed steel columns and beams. The area beneath the structure, extending to the main building, remains open, uncovered and accessible
- The Owner and Agent have consulted with Conservation Halton to satisfy appropriate mitigation measures and buffers. Environmental Policy and CH staff have no objection to the proposed variances
- Burlington Hydro, Development Engineering and Transportation staff are also in support of the application

Cumulative Effects of Multiple Variances and Other Planning Matters:

Staff are of the opinion that the cumulative effect of the proposed variances promotes the growth of an existing and established business within the City. The proposal makes careful consideration of site development factors while encouraging the use of public transit and reducing the visual impact of outdoor storage and parking areas. These objectives are in line with policies that prioritize efficient land use, encourage the retention of existing industrial uses and are within the scope of a Minor Variance Application.

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Recommendation:

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and have no objection.

Date: March 27, 2026

Prepared By: Magda Rusin-Hynek

Report Schedules & Attachments:

Attachment No. 1 (Site Photos)



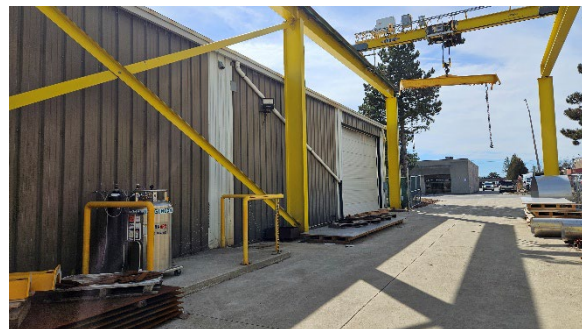
Front view of subject property, including overhead crane



Front view of subject property at north entrance



Looking towards the rear lot line



View from side yard looking towards Morris Dr



View from rear yard looking towards abutting property at 4130 Morris Dr



Rear yard of subject property (approximate location of proposed addition)

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Front view of subject property at south entrance



Front yard of subject property



View from Harvester Rd towards the subject property and creek at rear



Parking area at 4131 Morris Dr (owned by Presvac Systems Inc)



Parking area at 4131 Morris Dr (owned by Presvac Systems Inc)



Parking area at 4131 Morris Dr (owned by Presvac Systems Inc)



Nearby property at 4150 Morris Dr



Nearby property at 4140 Morris Dr

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Nearby property at 4216 South Service Rd (view from cul-de-sac at Morris Dr)



Nearby property at 4140 Morris Dr



Nearby property at 4151 Morris Dr

Technical Reviewer Comments:

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objection.

Date: March 2, 2026

Prepared By: P. Dimitroulias

Forestry

Forestry has reviewed the proposed minor variances and have no objections.

Date: February 26, 2026

Prepared By: J. Lee

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

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-
3. All construction shall comply with OBC 2024.
 4. Location of exits and travel distance to exits shall be designed per Div. B, 3.4.2. OBC 2024. Exits shall lead to an open public thoroughfare or an exterior open space protected from fire exposure from the building and having access to an open public thoroughfare.
 5. Area of unprotected openings and exposure protection shall be designed per Div. B, 3.2.3. OBC 2024
 6. Proposed design shall comply with barrier-free design requirements, Div. B, 3.8. OBC 2024
 7. Direct access to firefighting and access routes shall be designed per Div. B, 3.2.5. OBC 2024 – Provisions for firefighting. The fire access route over parking garage slab if any shall be designed to withstand fire truck loading requirement as per Burlington Fire truck standards
 8. Further comments may be forthcoming upon review of revised drawings during Building permit submission.

Date: March 3, 2026

Prepared By: Anil Kumar

Transportation Planning

Deemed Road Width Analysis

Morris Drive is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right-of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: December 22, 2025

Prepared By: Thalia Thompson

Transportation Planning have reviewed the application and have no objections to the variances proposed noting previous correspondence with the Applicant during application for Minor Modification as completed in 2025. Staff support is based on understanding of items previously discussed and concerns previously addressed.

Regarding Variance Two - To permit 0.9 parking spaces per 100 m² of gross floor area (18 spaces) instead of the minimum required 1 space per 100 m² of gross floor area (20 spaces) for a 1919 m² one storey industrial building.

1. The proposed site configuration is based on the improvement of business operations rather than an expansion to employee density.

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-
2. The parking needs of the site have been incorporated into the preparation of the site plan, and the Applicant has confirmed business parking needs do not require expansion.

Regarding Variance Three - To permit two required parking spaces that are not readily accessible without obstructions at all times whereas Zoning By-law 2020 requires parking spaces to be readily accessible at all times without the necessity of moving any other vehicle or obstruction.

1. Two employee parking stalls towards the rear of the site and east of the loading zone as recorded on the site plan, will be intermittently obstructed when the loading zone is occupied.
2. The loading zone is intended for light to medium single unit vehicles and will be occupied for short periods.
3. Employees will be instructed on parking expectations when the loading zone is occupied, and those spots are required.

Date: March 20, 2026

Prepared By: Thalia Thompson

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: February 20, 2026

Prepared By: L. Bray

Agency Comments:

Halton Region

Regional Contaminated Sites Database:

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies, Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments,

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Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

Regional Staff have reviewed the Minor Variance application proposing the construction of single storey rear addition to an existing one storey industrial building. Variances are requested to the minimum required side yard setback, number of parking spaces, and to permit two not readily accessible required parking spaces.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Staff have reviewed the application from the Region's Source Water Protection requirements. In accordance with the MOU and to ensure protection of groundwater sources, Halton Region provides the following comments:
 - The property is located within the jurisdiction of the Halton-Hamilton Source Protection Plan (SPP). The Halton-Hamilton SPP can be accessed online at: <http://www.protectingwater.ca/>
 - The property is located in Intake Protection Zone 2 (VS= 6.3).
 - The proposed application is not located in a Wellhead Protection Area (WHPA) or Issue Contributing Area (ICA), as such no source water protection policies apply to this application. Therefore, this application can proceed from a Source Water Protection perspective, and Section 59 notice will not be required.
 - Attached to these comments is a factsheet for the applicant, regarding the Source Water Protection program and the important role landowners play in protecting drinking water sources
- Regional Staff have no objections to the Minor Variance application.

Date: March 4, 2026

Prepared By: Navjot Kaur

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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Conservation Halton

**Re: Minor Variance Application
City File Number: 540-02-A-090/25
CH File Number: PMVG-2790
4120 Morris Drive, Burlington
Applicant: 919686 Ontario Inc.**

Conservation Halton (CH) staff has reviewed the minor variance application and materials for 4120 Morris Drive as per our regulatory responsibilities under the *Conservation Authorities Act* (CA Act) and Ontario Regulation 41/24 and our provincially delegated responsibilities under Ontario Regulation 686/21 (e.g., acting on behalf of the province to ensure decisions under the *Planning Act* are consistent with the natural hazards policies of the Provincial Planning Statement [PPS, Sections 5.1.11-5.2.8] and/or provincial plans).

Proposal

Staff understands the applicant is proposing the construction of a single storey rear addition to an existing one storey building containing a manufacturing use. The proposal was reviewed through a Site Plan Approval application for a minor modification to the existing industrial development, under file MM-009/25 and received draft approval with conditions on November 11, 2025. Through review of the proposal, staff understands there are three Zoning deficiencies identified that require a minor variance prior to final Site Plan Approval being granted:

1. To permit a 0.9 m north-west side yard instead of the minimum required 4.5 m for an existing loading crane accessory structure.
2. To permit 0.9 parking spaces per 100 m² of gross floor area (18 spaces) instead of the minimum required 1 space per 100 m² of gross floor area (20 spaces) for a 1919 m² one storey industrial building.
3. To permit two required parking spaces that are not readily accessible without obstructions at all times whereas Zoning By-law 2020 requires parking spaces to be readily accessible at all times without the necessity of moving any other vehicle or obstruction.

***Conservation Authorities Act* and Ontario Regulation 41/24**

CH regulates all watercourses, valleylands, wetlands, Lake Ontario Shoreline, hazardous lands (e.g. flooding and erosion hazards, dynamic beaches, unstable soil and bedrock), as well as lands adjacent to these features. Based on CH's Approximate Regulation Limit (ARL) mapping, the subject property is regulated by CH as it is near a tributary of Shoreacres Creek and is adjacent to the flooding and erosion hazards associated with that watercourse. CH regulates 15 metres from the greater of the flooding and erosion hazards associated with Upper Rambo Creek.

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Permits are required from CH prior to undertaking development activities within CH's regulated area and applications are reviewed under the *Conservation Authorities Act (CA Act)*, Ontario Regulation 41/24 and CH's *Policies and Guidelines for the Administration of Part VI of the Conservation Authorities Act and Ontario Regulation 41/24 and Land Use Policy Document*, last amended April 17, 2025 (<https://conservationhalton.ca/policies-and-guidelines>).

CH previously commented on the associated Site Plan Approval application in a letter dated October 6, 2025, and should be referred to for further background. As confirmed through the Site Plan Approval application process, the proposed rear addition meets CH policy as the minimum 6 metre setback from the top of bank and flood plain will be maintained. A CH permit will be required for the development activities (addition, grading, etc.) within CH regulated areas.

Staff understands that Variance #1 relates to the portion of the existing crane that will remain on site outside of CH's regulated area and the portion that will be relocated to meet CH policy, and that Variance #3 relates to the two parking spots in an area of existing asphalt that is to be repaved. As such, CH has no objection to the requested variances.

Provincial Planning Statement - Natural Hazards (Sections 5.1.1-5.2.8)

As the proposed development will be located outside of the flooding and erosion hazards, CH raises no concerns regarding consistency of this application with the Natural Hazards Sections of the PPS.

Recommendation

CH has no objection to the approval of this Minor Variance application.

A CH Permit will be required prior to initiation of all development activities within the regulated portion of the site.

Should any changes to the proposed development arise through the Minor Variance process, please circulate CH.

We trust the above is of assistance. Please contact the undersigned with any questions.

Date: March 5, 2026

Prepared By: Ola Panczyk

Burlington Hydro

BHI has no objections to the variances requested in this application.

Date: February 27, 2026_____

Prepared By: Harpreet Singh



(905) 335-7629
committeeofadjustment@burlington.ca
FILE NO. 540-02-**A-090/25**
Committee of Adjustment
Date of Mailing: March 23, 2026

NOTICE OF PUBLIC HEARING

919686 Ontario Inc of 4131 Morris Dr. Burlington, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **4120 Morris Dr. Burlington** (see map).

The applicant is proposing the construction of single storey rear addition to an existing one storey building containing a manufacturing use. The proposal was reviewed through a Site Plan Approval application for a minor modification to the existing industrial development, under file MM-009/25 and received draft approval with conditions on November 11, 2025. This proposal results in the following variances:

1. To permit a 0.9m north-west side yard instead of the minimum required 4.5m for an existing loading crane accessory structure.
2. To permit 0.9 parking spaces per 100m² of gross floor area (18 spaces) instead of the minimum required 1 space per 100m² of gross floor area (20 spaces) for a 1919m² one storey industrial building.
3. To permit two required parking spaces that are not readily accessible without obstructions at all times whereas Zoning By-law 2020 requires parking spaces to be readily accessible at all times without the necessity of moving any other vehicle or obstruction

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **March 23, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY APRIL 8, 2026,

This application is scheduled to be heard at or after 5:30 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **5:00 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



4120 Morris Drive



Committee of Adjustment Community
Planning Department - Planning
Implementation

**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: Magda Rusin-Hynek Name of Zoning Examiner: Nathan Dart

PROPERTY INFORMATION

Municipal Address(es) of property:

4120 Morris Drive

Legal Description of property:

Part Lot 15 Plan M-192

Official Plan Designation: Employment lands Current Zoning Designation GE1 [industrial]

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

~~Presvac Systems Burlington Limited~~ 919686 Ontario Inc

Mailing Address: 4131 Morris Drive City: Burlington

Postal Code: L7L 5L5 Home Phone: _____ Mobile Phone: 

Work Phone: _____ E-Mail: 


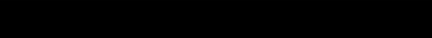
AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

BeGin Consulting Inc. c/o Gary Jin

Business Address: 1500 Upper Middle Road W, unit6 suite208 City: Oakville, Ontario

Postal Code: L6M0C2 Home Phone: _____ Mobile Phone: _____

Work Phone:  E-Mail: 

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

The owner [Presvac System] proposes a rear addition to their existing industrial building. Relief is requested for shortage of on-site parking spaces. Relief is also requested for the location of an existing steel crane [accessory structure] from the northerly side lot line.

Variance(s) Requested	Zoning Bylaw Requirement
1. To permit an accessory structure [crane] with a 0.9 m +/- north side yard setback instead of the minimum required 4.5 m	
2. To permit 0.9 parking spaces per 100 m2 of gross floor area instead of the minimum required 1 parking space per 100 m2 of gross floor area for an industrial use	

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

- Why is the variance(s) minor in nature? Parking - the reducing of parking space [per m2 gfa] is minimal.
Crane setback - is only for the stee frame structure [column & top cross beams], not for a building wall nor roof.
The reduce setback continues to provide adequate access for building maintenance and emergency assess to the side & rear yard. The reduced parking is minimal.
- Why are the variance(s) desirable for the appropriate use of the land? Parking - adding more parking in the front yard would impact existing green space and plant material. Adding parking spaces in the north side yard may conflict with the crane operation.
Crane- heavy material is delivered to the north side yard. Having the crane at this location makes the site function property.. Access to the north side yard and rear yard is available and not blocked.
- Do the variance(s) meet the intent and purpose of the Official Plan? This property meets the OP as Employment lands - general employment. The redevelopment of this property not only intensifies the employment lands and makes effecient use of existing infrastructure, it support's the business's future as a viable employer for years to come.
- Do the variance(s) meet the intent and purpose of the Zoning By-law? Parking - the majority of the required parking spaces will be provided as per zoning regulated standards. Crane -the reduced setback does not impede truck delivery activities in the north side yard.
The crane structure is maintainable; the location of the crane does not impede site accessibilty.

PROPERTY DETAILS (please complete all fields):		
Date property purchased: _____ 11/30/1992 mmm/dd/yyyy	Date property first built on: _____ 11/30/1982 mmm/dd/yyyy	Date of proposed construction: _____ 11/30/2026 mmm/dd/yyyy
Existing Use of the Subject Property (check one): Detached Dwelling <input type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____		Length of time the existing uses of the subject property have continued: 33 years Proposed Use of the Land: industrial - manufacture of vacuum trucks
Existing Uses of Abutting Properties (check all that apply) Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input checked="" type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>		
Additional Information Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/> Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>		
Type of Access to the Subject Lands Provincial Highway <input type="checkbox"/> Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other(specify) <input type="checkbox"/>		
Municipal Services Provided Water <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Sanitary Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Storm Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____		
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS: <input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input checked="" type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent		

FOR COMMERCIAL, MIXED USE, INDUSTRIAL AND OTHER

Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> File #: MM009/25
Frontage	Depth	Area	Actual	Deemed	Required		
45.72 m	84 m+	4280 m ²	20 m	20 m		45.6%	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Building)			PROPOSED (Building/Addition)		
Ground Floor Area:	832	M ²	Ground Floor Area:	1952	M ²
Gross Floor Area:	832	M ²	Gross Floor Area:	1952	M ²
Number of Storeys:	one		Number of Storeys:	one	
Width:	24.38	M	Width:	35.66	M
Length:	35.36	M	Length:	64.9 +/-	M
Height:	4.5 m+ ₋	M	Height:	11.34 +/-	M
Floor Area: Office Space		M ²	Floor Area: Office Space		M ²
Floor Area: Warehouse/Retail/Other:	832 m ²	M ²	Floor Area: Warehouse/Retail/Other:	1952	M ²
# of Existing Units:	one		# of Proposed Units:	one	
Floor Area Ratio:			Floor Area Ratio:		
Required Parking Spaces:			Proposed Parking Spaces:	18	
Existing Parking Spaces:	13				
EXISTING (Other)			PROPOSED (Other)		
Ground Floor Area:		M ²	Ground Floor Area:		M ²
Gross Floor Area:		M ²	Gross Floor Area:		M ²
Number of Storeys:			Number of Storeys:		
Width:		M	Width:		M
Length:		M	Length:		M
Height:		M	Height:		M

LOCATION of all existing and proposed buildings and structures

EXISTING (Building)			PROPOSED (Building)		
Front:	10.28	M	Front:	10.28	M
Rear:	39.44	M	Rear:	9	M
Side: south	13.52	M	Side: south	4.7	M
Side: north	9.05	M	Side: north	9	M
OTHER [crane]			OTHER [side canopy]		
Front:	15 +	M	Front:		M
Rear:	8.9	M	Rear:		M
Side:		M	Side: south	6.1	M
Side: north	0.9	M	Side:		M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	Presvac Systems Burlington Limited	Property Address	4120 Morris Drive
	BeGin Consulting Inc [Gary Jin]		11/12/2025
	Signature of Owner/Applicant		Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized Agent:

Agent: BeGin Consulting Inc. c/o Gary Jin

I, Gary Jin of the Region of Halton in the Town
(print name) (Region/City/County) (City/Town/Township)

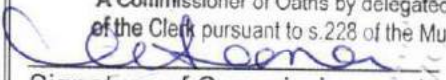
of Oakville solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Town of Oakville in the Region of Halton.
(Region/City/County) (City/Town/Township)

this 08 day of December 2025.

Tatiana Raigoza
 Clerk's Information Administrator
 Town of Oakville

A Commissioner of Oaths by delegated Authority
 of the Clerk pursuant to s.228 of the Municipal Act


 Signature of Commissioner, etc.


 Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 4129 MORRIS DRIVE

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.


 Signature of Owner

DAVID SIKKEMA
 Print Name

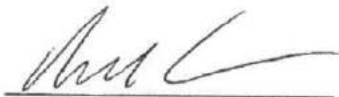
OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, DAVID SIPKEMA being the registered owner of the subject lands, hereby
(print name)

Authorize GARY JIN to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.



Signature of Owner

DEC 18 / 2025

Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	✓
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	✓
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	✓
SITE PLAN <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input checked="" type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.

Gary Jin

Signature of Owner/Agent

11/12/2025

Date (mmm/dd/yyyy)

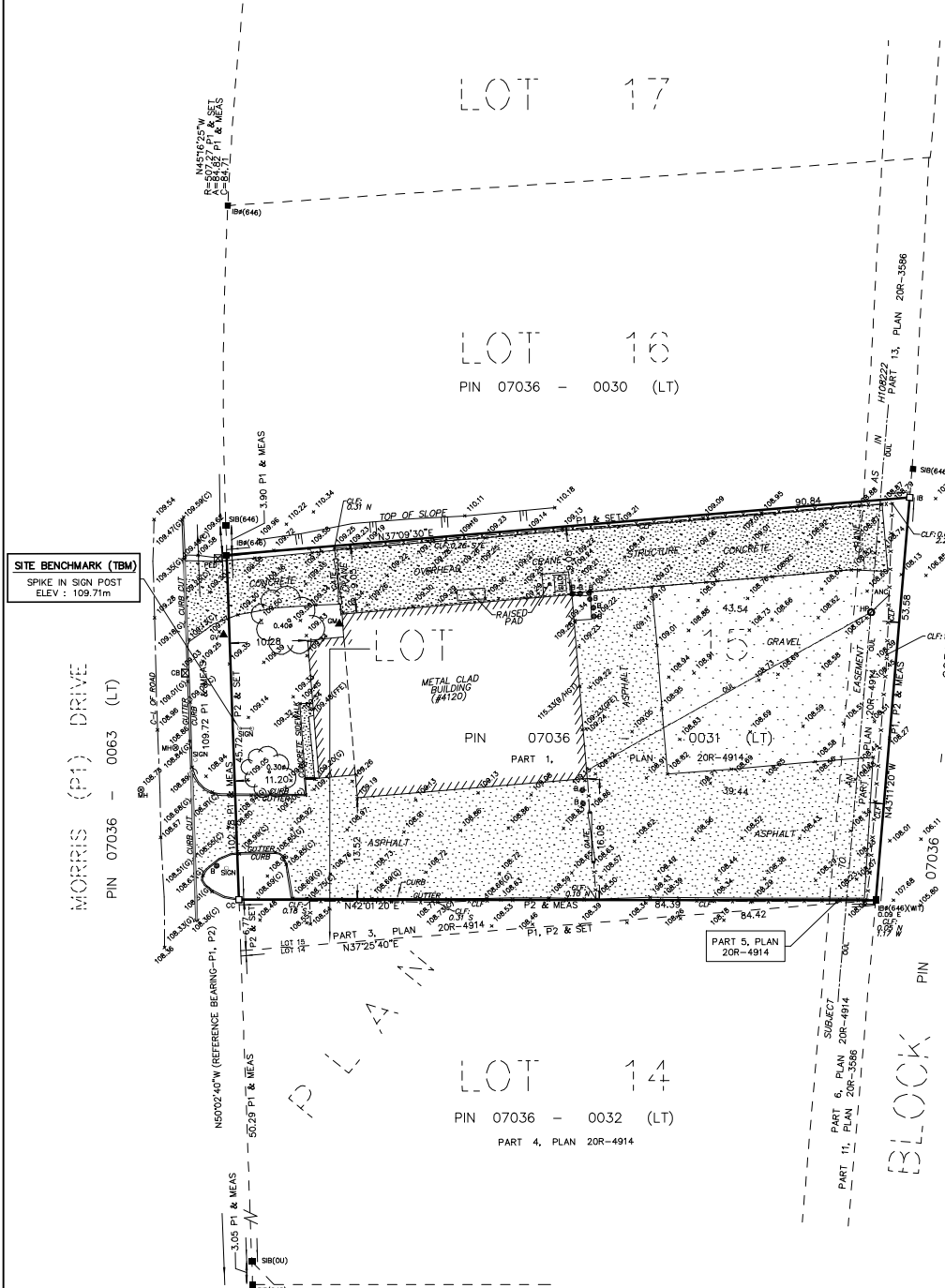


Copyright Act Applies to Use and Production

PLAN OF SURVEY SHOWING TOPOGRAPHICAL INFORMATION

**PART LOT 15
PLAN M-192
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON**

SCALE 1 : 400
RASCH & HYDE LTD.
ONTARIO LAND SURVEYORS



LEGEND & NOTES

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR (25mmX25mmX120cm)
- SSIB DENOTES SHORT STANDARD IRON BAR (25mmX25mmX60cm)
- IB DENOTES IRON BAR (15mmX15mmX60cm)
- IBR DENOTES ROUND IRON BAR (20mm DIA X 60cm)
- IP DENOTES IRON PIPE
- PB DENOTES PLASTIC BAR
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- FIN DENOTES PROPERTY IDENTIFIER NUMBER
- (646) DENOTES R. G. SEWELL, OLS
- P1 DENOTES REGISTERED PLAN M-192
- P2 DENOTES PLAN 20R-4914
- C-L DENOTES CENTRELINE
- HP DENOTES HYDRO/UTILITY POLE
- QUL DENOTES OVERHEAD UTILITY/HYDRO LINE
- ANC DENOTES GUY ANCHOR
- GM DENOTES GAS METER
- B DENOTES BOLLARD
- MH DENOTES MANHOLE
- CB DENOTES CATCH BASIN
- WV DENOTES WATER VALVE
- φ DENOTES DIAMETER
- DENOTES DECIDUOUS TREE (TREE CANOPY NOT TO SCALE)
- +100.00 DENOTES EXISTING GROUND ELEVATION
- FFE DENOTES FINISHED FLOOR ELEVATION
- GFE DENOTES GARAGE FLOOR ELEVATION
- +100.00(B) (ACT) DENOTES BUILDING HEIGHT ELEVATION
- +100.00(C) DENOTES ELEVATION OF CURB
- +100.00(G) DENOTES ELEVATION OF GUTTER
- R, A, C DENOTES RADIUS, ARC, CHORD

N-NORTH; S-SOUTH; W-WEST; E-EAST
BUILDING TIES MEASURED TO FACE OF SIDING

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY UNIT OF MORRIS DRIVE AS SHOWN ON P1 AND P2, AND HAVING A BEARING OF N50°02'40"W.

ELEVATION NOTE

ELEVATIONS ARE GEODETIC, DERIVED BY GPS OBSERVATIONS, REFERRED TO GEODETIC SURVEY OF CANADA BENCHMARK 0020208136 HAVING AN ELEVATION OF 122.565m (CGVD-1928:1978)
LOCATION : POINT IS LOCATED ON THE SIDEWALK OF WALKER'S LINE CROSSING BRIDGE OF QEW, THE CAP IS LOCATED ON NORTHWEST EXPANSION JOINT OF WALKER'S LINE.
ALL FUTURE GRADE WORK ON SITE TO BE BASED ON SITE BENCHMARK.
ANY ELEVATION DISCREPANCIES TO BE REPORTED TO RASCH & HYDE LTD.

METRIC NOTE

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

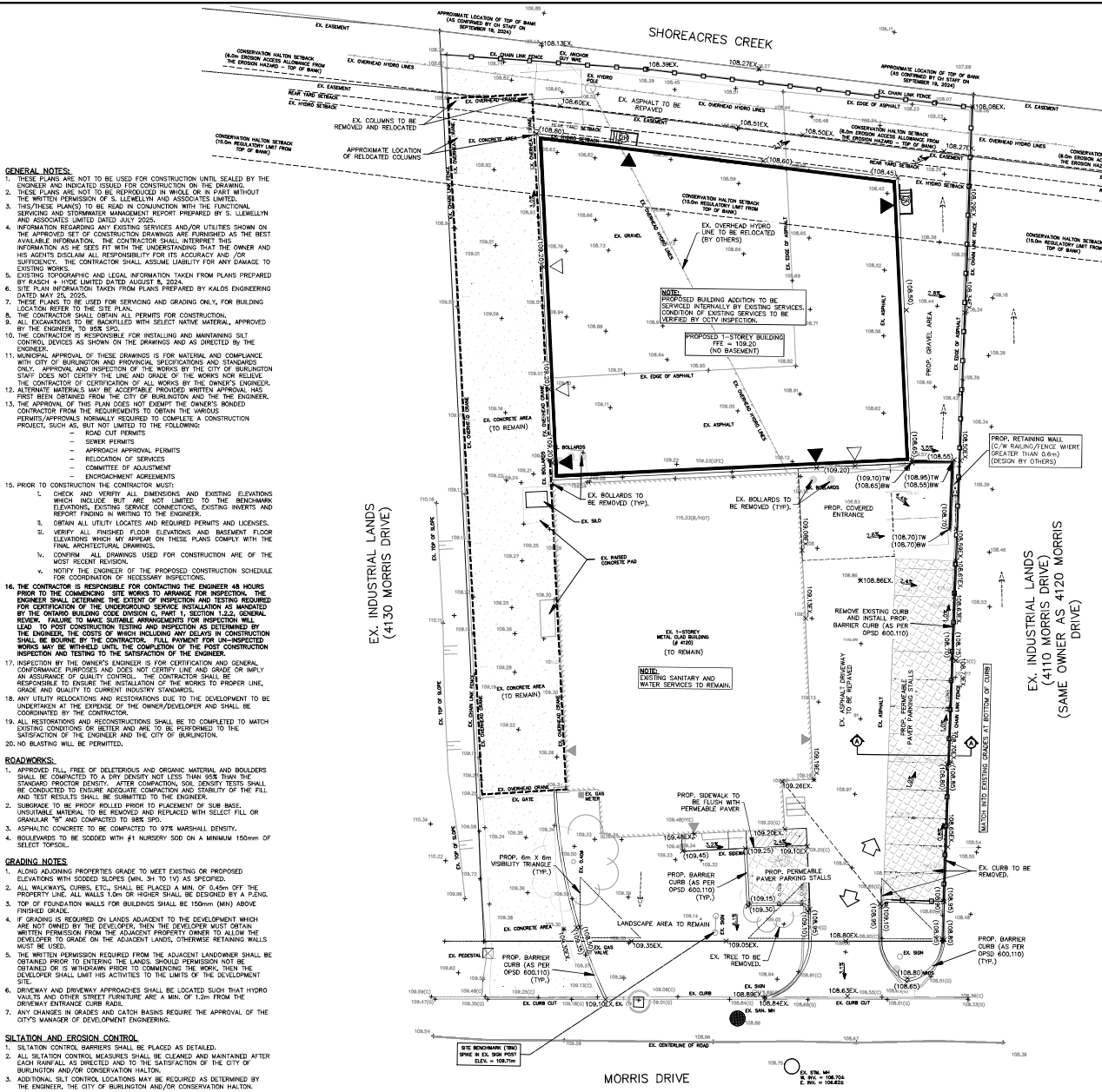
SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED ON THE 25th DAY OF JUNE, 2024.

AUGUST 8, 2024
DATE
HAROLD D. HYDE
ONTARIO LAND SURVEYOR

© COPYRIGHT, Rasch & Hyde Ltd., OLS's, 2024

RASCH + HYDE LTD. Ontario Land Surveyors		
P.O. Box 6, 1333 Highway #3 East, Unit B DUNNVILLE, ONT, N1A 2X1 DUNNVILLE: 905-774-7188 FORT ERIC: 905-871-9757 (FAX 905-774-4000)		
HAROLD D. HYDE O.L.S.		
SCALE 1 : 400	SURVEY : 24-141	DRWN BY : J.H.



NOTES TO CONTRACTOR:

- INSPECTION**
 CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE SCOPE OF INSPECTION AND TESTING REQUIRED FOR IDENTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REPAIR/FAILURE TO IDENTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- CONFIRMATION OF EXISTING INVERTS**
 24 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SERVICES AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.

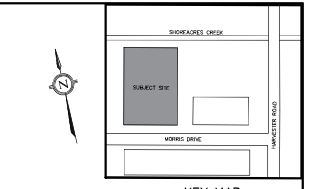
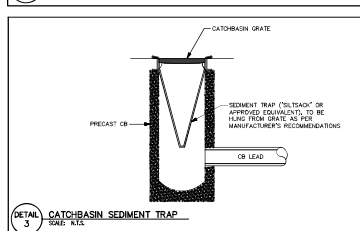
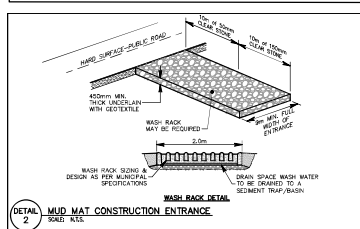
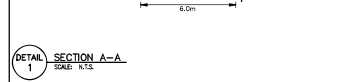
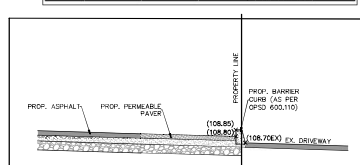
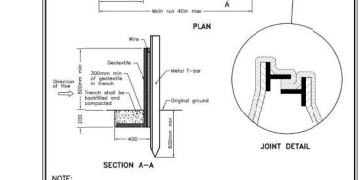
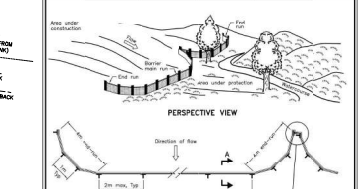
GENERAL NOTES:

- THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED READY FOR CONSTRUCTION ON THE DRAWING.
- THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S. LLEWELYN & ASSOCIATES LIMITED.
- THESE PLANS TO BE READ IN CONJUNCTION WITH THE FUNCTIONAL SERVING AND STORMWATER MANAGEMENT REPORT PREPARED BY S. LLEWELYN & ASSOCIATES LIMITED DATED JULY 2025.
- INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THE INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND FOR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORK.
- EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLANS PREPARED BY KALOS + MORE LIMITED DATED AUGUST 8, 2024.
- SITE PLAN INFORMATION TAKEN FROM PLANS PREPARED BY KALOS ENGINEERING DATED MAY 28, 2025.
- THESE PLANS TO BE USED FOR SERVING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE REPORT.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION, ALL EROSION CONTROL TO BE BACKFILLED WITH SELECT NATIVE MATERIAL, APPROVED BY THE ENGINEER, TO 50% SPD.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SILT CONTROL DEVICES AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
- MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL COMPLIANCE WITH CITY OF BURLINGTON AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY OF BURLINGTON STAFF DOES NOT CERTIFY THE LINE OR GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS BEEN OBTAINED FROM THE CITY OF BURLINGTON AND THE ENGINEER.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 ROAD CUT PERMITS
 SEWER PERMITS
 APPROXIMATE APPROVAL PERMITS
 RELOCATION OF SERVICES
 COMMITTEE OF ADJUSTMENT
 ENCROACHMENT AGREEMENTS
- PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 1. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, DIMENSIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 3. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 4. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 5. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE SCOPE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW, FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION INSPECTION AND ASSOCIATED COSTS BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. THIS PLAN IS A PRELIMINARY DRAWING AND WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
- INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFIRMANCE PURPOSES AND DOES NOT CONFER LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE NOTIFICATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
- ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY OF BURLINGTON.
- NO BLASTING WILL BE PERMITTED.

- ROAD CUT PERMITS
- SEWER PERMITS
- APPROXIMATE APPROVAL PERMITS
- RELOCATION OF SERVICES
- COMMITTEE OF ADJUSTMENT
- ENCROACHMENT AGREEMENTS

- ROADWORKS:**
- APPROVED FILL FREE OF DELETERIOUS AND ORGANIC MATERIAL AND BOLLERS SHALL BE COMPACTED TO A DRY DENSITY NOT LESS THAN 95% THAT THE STANDARD PROCTOR DENSITY. AFTER COMPACTION, SOIL DENSITY TESTS SHALL BE CONDUCTED TO ENSURE ADEQUATE COMPACTION AND STABILITY OF THE FILL AND TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER.
 - SUBGRADE TO BE PROOF ROLLED PRIOR TO PLACEMENT OF SUB BASE. UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED WITH SELECT FILL OR GRANULAR "B" AND COMPACTED TO 95% SPD.
 - ASPHALTIC CONCRETE TO BE COMPACTED TO 97% MARSHALL DENSITY.
 - BOLLERS TO BE SCAVED WITH #1 NURSERY: 200 ON A MINIMUM 150mm OF SELECT TOPSOIL.
- GRADING NOTES:**
- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPE GRAD. 2% TO 1% AS SPECIFIED.
 - ALL WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALKS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.
 - TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (6") ABOVE FINISHED GRADE.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVES AND OTHER STREET FURNITURE ARE A MIN. OF 1.5m FROM THE DRIVEWAY ENTRANCE CURB RAKE.
 - ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.

- SILTATION AND EROSION CONTROL:**
- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF BURLINGTON AND/OR CONSERVATION HALTON.
 - ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY OF BURLINGTON AND/OR CONSERVATION HALTON.
- RESTORATIONS:**
- DAMAGED CURB, GUTTER AND SIDEWALK TO BE REPLACED WITH 28 MPa CONCRETE TO EXISTING CONDITIONS OR BETTER.
 - PAVEMENT SURFACE ON EXISTING MORRIS DRIVE TO BE REPAIRED BY CONTRACTOR AT THEIR EXPENSE IF DAMAGED BY CONSTRUCTION TRAFFIC.



- LEGEND:**
- (100.00) EXISTING GROUND ELEVATION
 - (100.00)X PROPOSED GROUND ELEVATION TO MATCH EXISTING
 - 1/100(100.00) PROPOSED TOP OF WALL ELEVATION
 - B/100(100.00) PROPOSED BOTTOM OF WALL ELEVATION
 - PROPOSED DIRECTION OF SHEET FLOW
 - EXISTING STORM/SANITARY MANHOLE
 - PROPOSED SILTATION CONTROL FENCE
 - PROPOSED CATCHBASIN SILT SACK
 - OVERLAND FLOW ROUTE
 - DRAINAGE BREAK LINE
 - EXISTING DIRECTION OF DRAINAGE

BENCHMARK NOTE:
 ELEVATIONS ARE GEODETIC, DERIVED BY GPS OBSERVATIONS, REFERRED TO GEODETIC SURVEY OF CANADA BENCHMARK 08R2020136 HAVING AN ELEVATION OF 122.568M (COORDINATES: 1708519.975)

LOCATION POINT IS LOCATED ON THE SIDEWALK OF WALKERS LINE CROSSING BRIDGE OF QEW. THE CAP IS LOCATED ON NORTHWEST EXPANSION JOINT OF WALKERS LINE.

NO.	DATE	BY	REVISIONS

- NOTES TO CONTRACTOR:**
- CONTRACTOR AND SUBCONTRACTOR SHALL NOT SCALE FROM THIS DRAWING.
 - ANY AMBIGUITIES AND OMISSIONS POINT ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER. CONSTRUCTION HAS COMPLETED THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
 - NO EXISTING AND REPORT ALL PERMITS TO THE ENGINEER. CONSTRUCTION HAS COMPLETED THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND STRUCTURES AND OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWINGS, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
 - ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REUSED, OR REVISED WITHOUT THE WRITTEN CONSENT OF S. LLEWELYN & ASSOCIATES LIMITED.

DESIGN	0.0	CHK'D	S.N.	DATE
DRAWN <td>0.0 <td>CHK'D</td> <td>S.N. <td>AUG. 7, 2025</td> </td></td>	0.0 <td>CHK'D</td> <td>S.N. <td>AUG. 7, 2025</td> </td>	CHK'D	S.N. <td>AUG. 7, 2025</td>	AUG. 7, 2025

SCALE: 1:200

APPROVALS

NOT FOR CONSTRUCTION



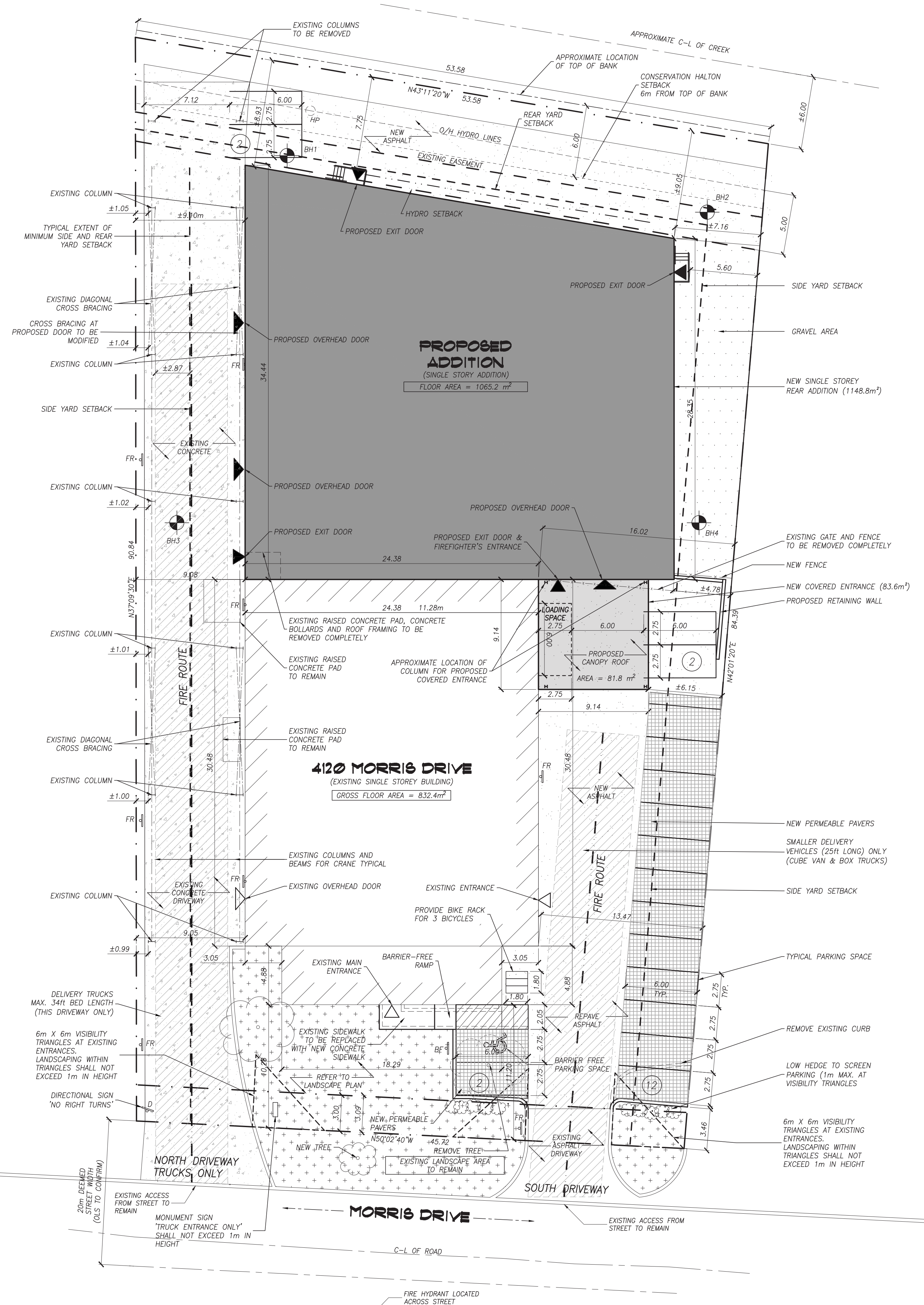
KALOS ENGINEERING INC.
 300 YORK BOULEVARD,
 HAMILTON, ON L8R 3K6

PRESVAC LTD REAR ADDITION
 4120 MORRIS DRIVE

SITE GRADING & EROSION CONTROL PLAN

PROJECT No.	24045	DRAWING No.	C101
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GE1 ZONE REGULATIONS (GENERAL EMPLOYMENT)			
REGULATION	GE1 Zone	Existing	Proposed
Lot Width	45 m	45.72 m	N/A
Front Yard	9.0 m	10.28 m	N/A
Rear Yard	7.5 m	-	Addition: 9 m Crane: 8.9 m
Side Yard (South)	4.5 m	-	Addition: 4.7 m Canopy: 6.1 m
Side Yard (North)	4.5 m	-	Addition: 9.0 m Crane: 0 m Minor Variance Required for crane

LANDSCAPE AREA			
REGULATION	GE1 Zone	Existing	Proposed
Front	3 m	-	3 m
Rear Abutting Creek	3 m	-	0 m Minor Variance Required

PARKING REQUIREMENTS			
	Required	Existing	Proposed
Onsite Parking	20	-	18 Minor Variance Required
Accessible Parking	1	-	1
Loading Stall	1	-	1

Parking Stall Sizes			
	Required	Existing	Proposed
Typical Parking Stall	2.75 m x 6 m	-	2.75 m x 6 m
Typical Accessible Parking Stall	2.75 m x 6 m x 2 m Accessible	-	2.75 m x 6 m x 2 m Accessible Walkway
Loading Stall Size	1	-	2.75 m x 6 m

Bicycle Parking			
	Required	Existing	Proposed
Bicycle Stall	3	-	3
Bicycle Stall Size	1.8m x 0.6m	-	1.8m x 0.6m

OWNER:
PRESVAC SYSTEMS BURLINGTON LTD.
4131 MORRIS DRIVE
BURLINGTON, ON L7L 5L5
TEL : (905) 637-2353

MUNICIPAL ADDRESS:
4120 MORRIS DRIVE
BURLINGTON, ON L7L 5L6

SURVEY REFERENCE:
PLAN OF SURVEY SHOWING TOPOGRAPHICAL INFORMATION
PART OF LOT 15
PLAN M-192
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON

PREPARED BY:
RASCH + HYDE LTD.
SURVEY: 24-141
AUGUST 8, 2024

ZONING DESIGNATION:
GE1 - GENERAL EMPLOYMENT (BY-LAW 2020)

SITE STATISTICS:
SITE AREA: ~4280 m² (0.428 ha)
BUILDING AREA: EXISTING 832 m²
PROPOSED 1897 m² 44.3% COVERAGE

FLOOR AREAS:
EXISTING GROUND FLOOR: 8960 sf 832.4 sm
PROPOSED ADDITION: 12096 sf 1123.7 sm
GROSS TOTAL: 21056 sf 1956.1 sm

GROSS FLOOR AREAS
EXISTING FRONT AREA: 960 sf 89.2 sm
LESS WASHROOMS, LOCKER ROOM & MECH. ROOM: 391 sf 36.3 sm
569 sf 52.9 sm
EXISTING WAREHOUSE: 8000 sf 743.2 sm
PROPOSED ADDITION: 12096 sf 1123.7 sm
TOTAL GROSS FLOOR AREA: 20665 sf 1919.8 sm

PARKING:
INDUSTRIAL USES: 1 SPACE PER 100 m² GROSS FLOOR AREA
PARKING REQUIRED: 1919.8 / 100 = 19.2 = 20 SPACES
PARKING PROVIDED: = 18 SPACES

TRUCK ACCESS:
TRUCKS WILL ACCESS THE SITE BY BACKING INTO THE DRIVEWAY FROM THE STREET. AFTER UNLOADING, THE TRUCKS WILL DRIVE FORWARD AND EXIT ONTO THE STREET. BACKING OUT ONTO THE STREET WILL NOT BE PERMITTED.

NORTH DRIVEWAY:
LARGER DELIVERY TRUCKS
MAX. 34ft BED LENGTH
TRUCKS WILL PARK IN THE DRIVEWAY FOR UNLOADING USING THE CRANE.

SOUTH DRIVEWAY:
SMALLER DELIVERY VEHICLES (25ft LONG) ONLY INCLUDING CUBE VAN, BOX TRUCKS OR SMALL FLATBEDS. UNLOADING WILL TAKE PLACE UNDER THE CANOPY, IN FRONT OF THE OVERHEAD DOOR.

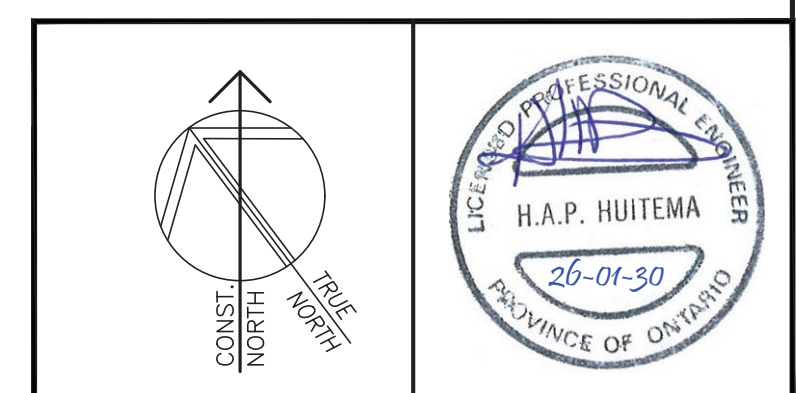
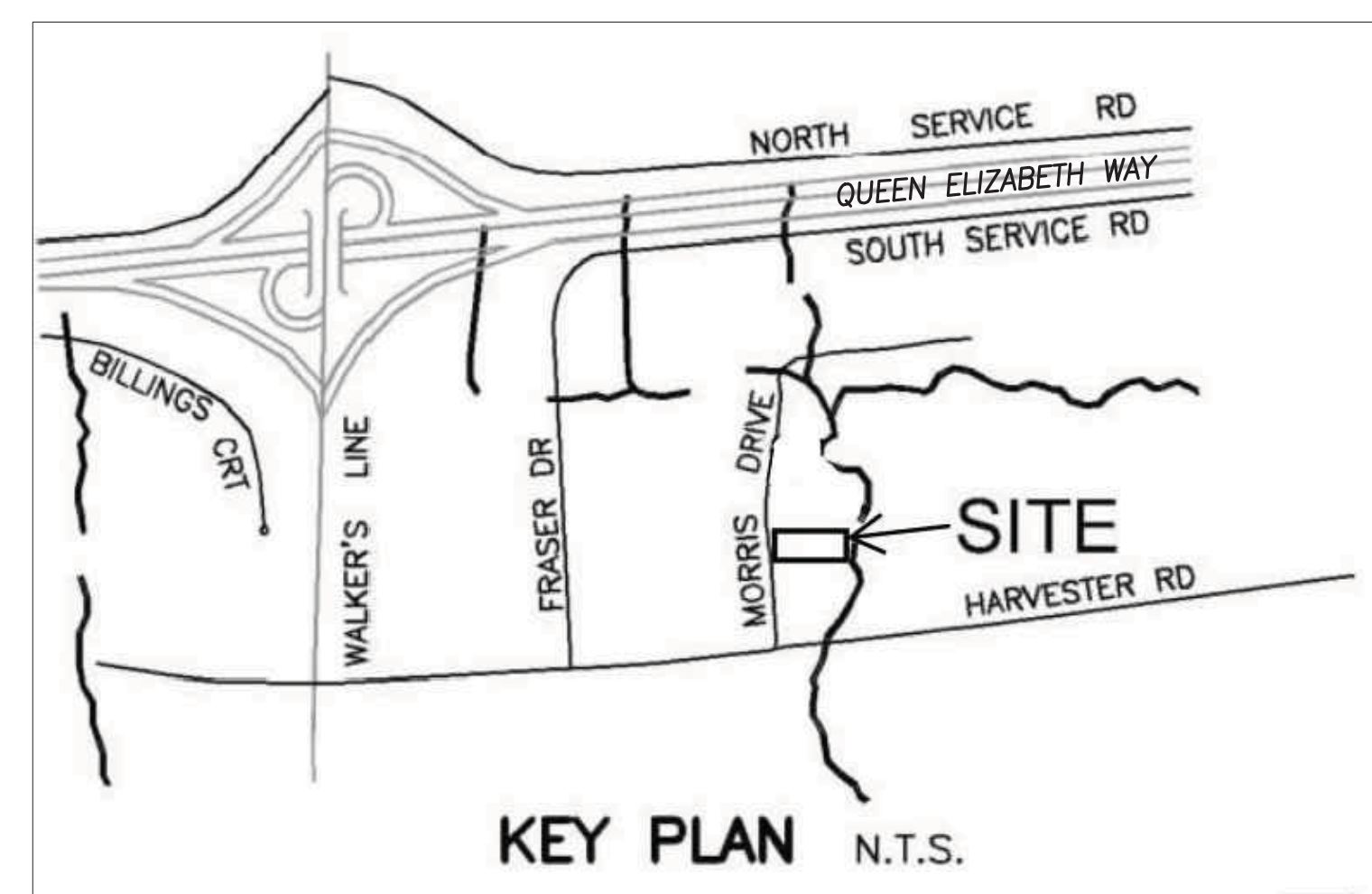
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LEGEND:

- ▶ PROPOSED ACCESS/EXIT DOOR
- ▶ PROPOSED OVERHEAD DOOR LOCATION
- ◁ EX. ACCESS/EXIT DOOR
- ◁ EX. OVERHEAD DOOR
- PROPERTY LINE
- - - EX. CHAIN LINK FENCE
- - - EX. OVERHEAD UTILITY WIRES
- ▨ DESIGNATES FIRE ROUTE PROVIDE HEAVY DUTY ASPHALT
- B STEEL PIPE BOLLARD
- ▶ SIGNAGE
FR - FIRE ROUTE
D - DIRECTIONAL
BF - BARRIER FREE
P - PARKING SPACE
REFER TO DWG. A1.2

SITE PLAN INFORMATION WAS REFERENCED FROM SURVEY COMPLETED BY RASCH + HYDE LTD. DATED AUGUST 8th, 2024

SITE PLAN INFORMATION WAS REFERENCED FROM EXISTING DRAWINGS COMPLETED BY J. PAUL S. SMITH & ASSOCIATES DATED OCTOBER 1st, 1980



No.	DATE	REVISION
2	26/01/30	ISSUED FOR MINOR VARIANCE
1	25/08/26	ISSUED FOR SITE PLAN APPROVAL

REVISIONS

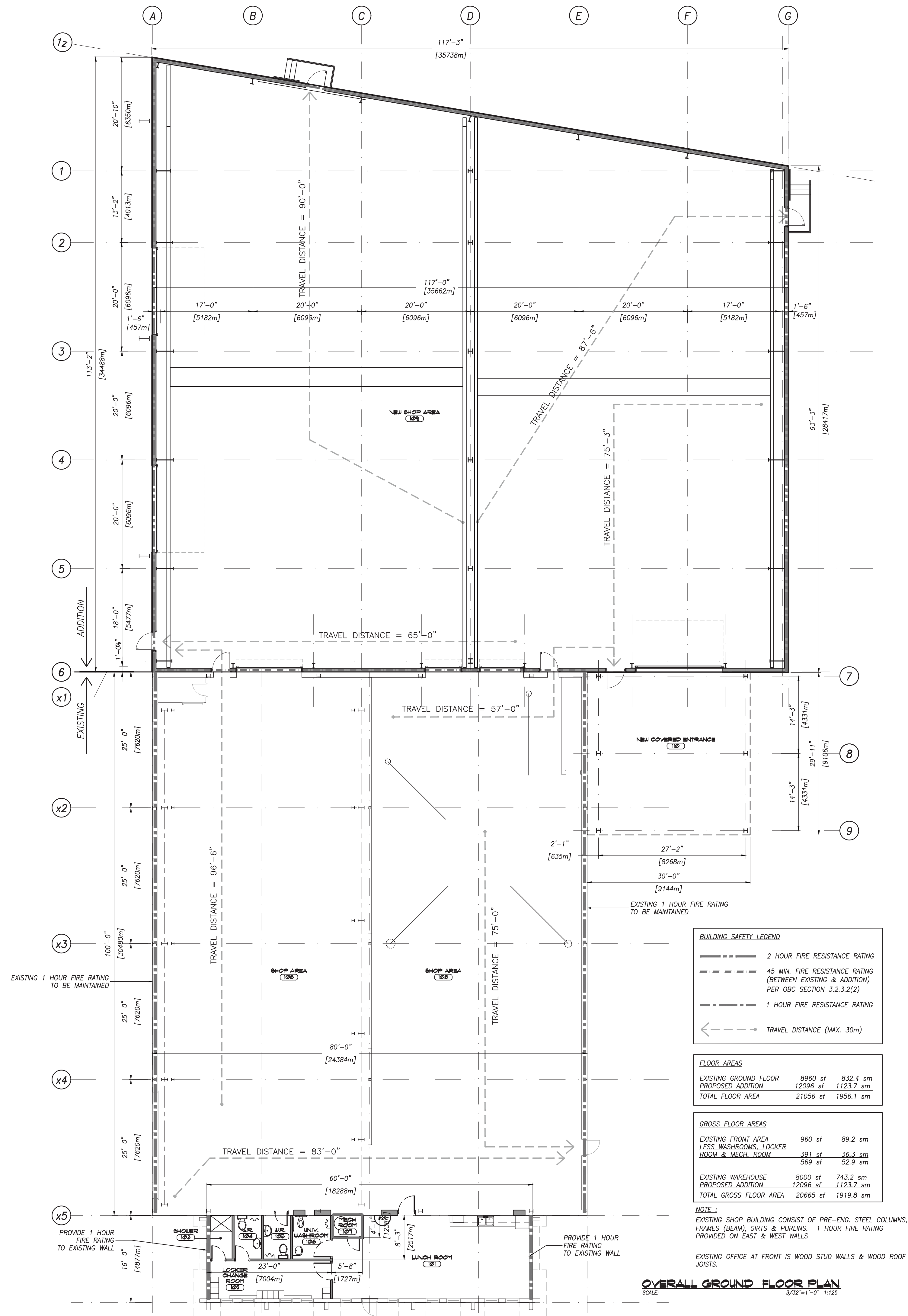
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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6
905-333-9119 www.kaloseng.ca

PRESVAC LTD REAR ADDITION
4120 MORRIS DRIVE
BURLINGTON ONTARIO

SITE PLAN

DATE AUGUST 2024	DRAWN BY T.M. & T.P.	DRAWING No. A1.0
PROJECT No. 24159	CHECKED BY H.A.P.H.	

SITE PLAN
SCALE: 1:200



BUILDING SAFETY LEGEND

- 2 HOUR FIRE RESISTANCE RATING
- - - 45 MIN. FIRE RESISTANCE RATING (BETWEEN EXISTING & ADDITION) PER OBC SECTION 3.2.3.2(2)
- 1 HOUR FIRE RESISTANCE RATING
- ← TRAVEL DISTANCE (MAX. 30m)

FLOOR AREAS

EXISTING GROUND FLOOR	8960 sf	832.4 sm
PROPOSED ADDITION	12096 sf	1123.7 sm
TOTAL FLOOR AREA	21056 sf	1956.1 sm

GROSS FLOOR AREAS

EXISTING FRONT AREA	960 sf	89.2 sm
LESS WASHROOMS, LOCKER ROOM & MECH. ROOM	391 sf	36.3 sm
	569 sf	52.9 sm
EXISTING WAREHOUSE	8000 sf	743.2 sm
PROPOSED ADDITION	12096 sf	1123.7 sm
TOTAL GROSS FLOOR AREA	20665 sf	1919.8 sm

NOTE:
EXISTING SHOP BUILDING CONSIST OF PRE-ENG. STEEL COLUMNS, FRAMES (BEAM), GIRTS & PURLINS. 1 HOUR FIRE RATING PROVIDED ON EAST & WEST WALLS.

EXISTING OFFICE AT FRONT IS WOOD STUD WALLS & WOOD ROOF JOISTS.

OVERALL GROUND FLOOR PLAN
SCALE: 3/32"=1'-0" 1:128

Name of Project: PRESVAC MANUFACTURING FACILITY			
Location: 4120 MORRIS DRIVE BURLINGTON, ON L7L 5L6			
Item	Ontario Building Code Matrix	OBC Reference	
1	Project Description <input type="checkbox"/> New <input type="checkbox"/> Change of use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3	<input type="checkbox"/> Part 9
2	Major Occupancy (s): Group F, Division 2	3.1.2.1.(1)	
3	Building Area (m ²): Existing 832 sm New 1956 sm	1.4.1.2.	
4	Floor Area (m ²): Existing 832 sm New 1956 sm	1.4.1.2.	
5	Number of Storeys Above Grade: 1 Below Grade: 0	3.2.2.66	
6	Number of Streets/Fire Fighter Access: One Street	3.2.2.10. & 3.2.5.	
7	Building Classification: Group F, Div. 2, up to 4 Storeys, Sprinklered	3.2.2.79	
8	Sprinkler System Entire Building Basement Only In Lieu of Roof Rating Not required	3.2.2.79	
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.9.	
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.4.	
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7.	
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.6.	
13	Permitted construction Actual construction	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both 3.2.2.79	
14	Mezzanine(s) Area (m ²): Existing N/A New N/A	3.4.3.2. & 3.4.3.4.	
HOW MANY MORE EMPLOYEES IN ADDITION?			
16	Barrier Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.8	
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
18	Required Fire Resistance Rating (FRR)	Horizontal assemblies Listed Design No. or Description (SB-2) Floors 3/4 hrs. Roof N/A Mezzanine FRR for Supporting Members Listed Design No. or Description (SB-2) Floors 3/4 hrs. Roof N/A Mezzanine N/A 3.2.2.79	
19	Spatial Separation - Construction of Exterior Walls at Addition (Fire Compartment)		
	Wall	Area of EBF (m ²)	L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Combustible Construction Non-Comb. Cladding Non-Combustible Construction
	North	372 m ²	9.0m 3:1 to 10:1 11% 7% 2 Hr. W606
	South	N/A	
	East	288 m ²	4.8m 3:1 to 10:1 5% 8% - 2 Hr. W606
	West	303 m ²	9.0m 3:1 to 10:1 14% 14% 2 Hr. W606
Existing building to remain as a separate fire compartment. 1hr fire rating on East & West walls to be maintained - refer to chart below:			
	Existing Building Spatial Separation - Construction of Exterior Walls (Fire Compartment)		
	Wall	Area of EBF (m ²)	L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Combustible Construction Non-Comb. Cladding Non-Combustible Construction
	North	N/A	
	South	122 m ²	>14m 3:1 to 10:1 100% 12%
	East	149 m ²	13.5m 3:1 to 10:1 49% 2% 1 Hr. EX.
	West	149 m ²	9.0m 3:1 to 10:1 25% 15% 1 Hr. EX.

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WASHROOM CALCULATIONS
SHOP AREA (INDUSTRIAL USE)
OCCUPANT LOAD = 18 PERSONS MAX.
REQUIRED NUMBER OF WASHROOM FIXTURES = 1 MALE & 1 FEMALE (O.B.C. TABLE 3.7.4.9.)
WASHROOMS PROVIDED TO ACCOMMODATE INDUSTRIAL USE:
1 UNISEX WASHROOMS (UNIVERSAL)
2 MALE WASHROOMS

TRAVEL DISTANCE
PER SECTION 3.4.2.5(1)(f) THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL NOT BE MORE THAN 30m (98'-5"). REFER TO FLOOR PLAN FOR TRAVEL DISTANCES.

GENERAL PROJECT NOTES
PRE-ENGINEERED BUILDING:
STAMPED AND SIGNED DRAWINGS FOR THE PRE-ENGINEERED BUILDING COMPONENTS OF THIS PROJECT WILL BE SUBMITTED ONCE A PRE-ENGINEERED BUILDING SUPPLIER IS SELECTED AFTER THE TENDER PROCESS.
SB10 COMPLIANCE:
EXEMPT PER OBC DIVISION 3, MMA SUPPLEMENTARY STANDARD SB-10, SECTION 1.2.1.1 AND TABLE 1.2.1.1.
ALTHOUGH THE USE ISN'T SPECIFICALLY INCLUDED IN TABLE 1.2.1.1 FOR A GROUP F, DIVISION 2 OCCUPANCY, THE PROPOSED ADDITION IS A SHOP AREA THAT IS SIMILAR TO A REPAIR GARAGE WITH OVERHEAD DOORS THAT WILL BE FREQUENTLY IN USE AND OPEN TO THE OUTDOORS.

REFER TO EXISTING DRAWINGS COMPLETED BY J. PAUL S. SMITH & ASSOCIATES DATED OCTOBER 1st, 1980

TRUE NORTH

LICENCED PROFESSIONAL ENGINEER
H.A.P. HUIJTEMA
26-01-50
PROVINCE OF ONTARIO

No.	DATE	REVISION
2	26/01/30	ISSUED FOR MINOR VARIANCE
1	25/08/26	ISSUED FOR SITE PLAN APPROVAL

REVISIONS

KALOS ENGINEERING

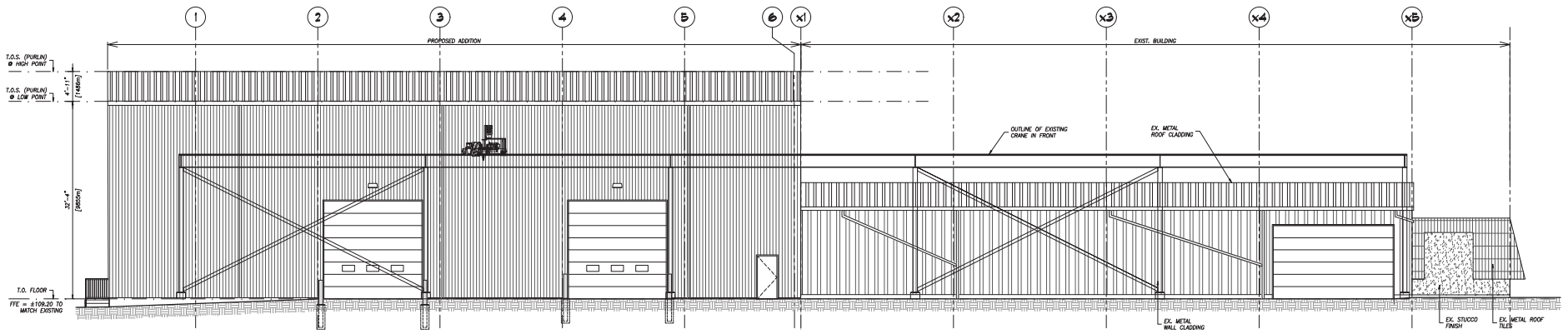
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PRESVAC LTD REAR ADDITION

4120 MORRIS DRIVE
BURLINGTON ONTARIO

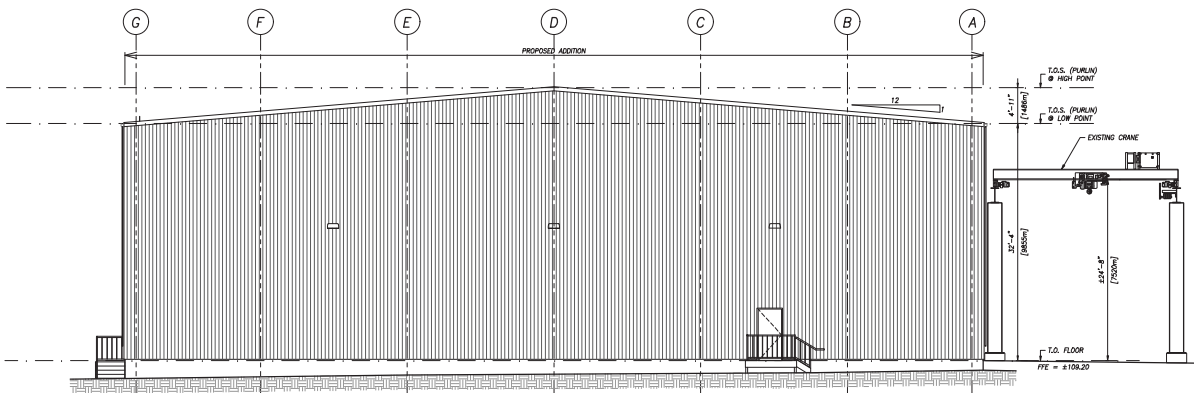
OVERALL FLOOR PLAN

DATE AUGUST 2024	DRAWN BY T.M. & T.P.	DRAWING No. A2.0
PROJECT No. 24159	CHECKED BY H.A.P.H.	



WEST ELEVATION
SCALE: 1/8" = 1'-0" (A3.0)

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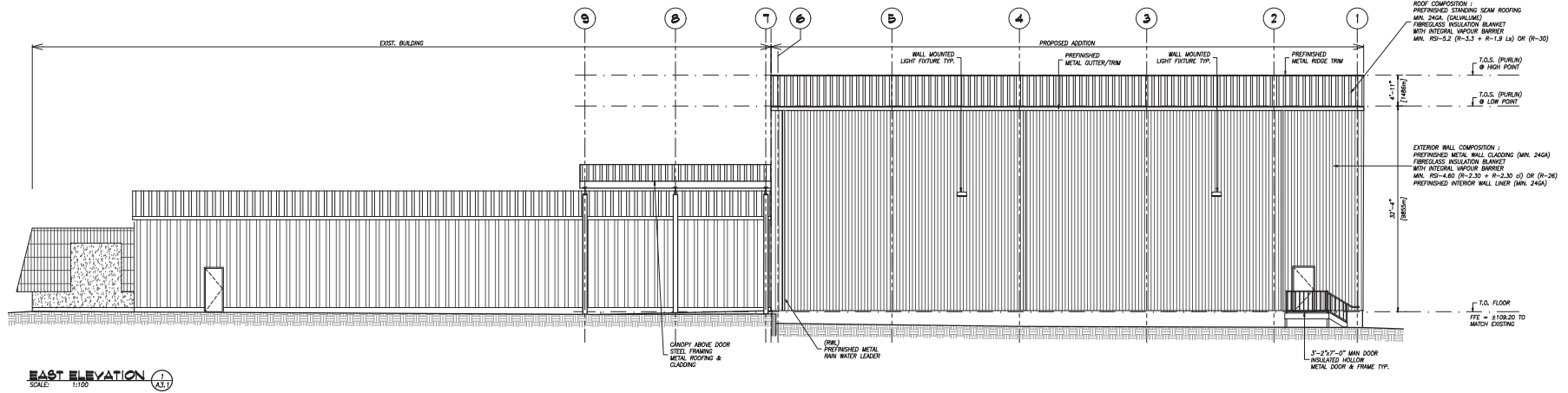


NORTH ELEVATION
SCALE: 1/8" = 1'-0" (A3.0)

EXTERIOR FINISHES

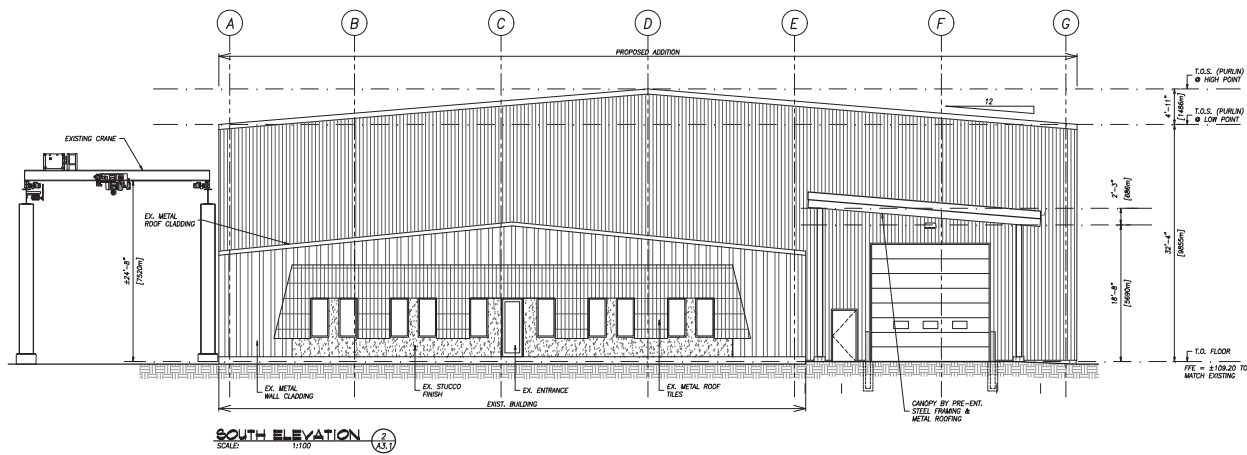
	PREFINISHED METAL WALL CLADDING COLOUR TO MATCH EXISTING (GRAY) TRIM WHITE TO MATCH EXISTING
	PREFINISHED STANDING SEAM ROOFING COLOUR TO MATCH EXISTING (GALVALUME)

No.	DATE	REVISION
1	25/08/26	ISSUED FOR SITE PLAN APPROVAL
REVISIONS		
300 YORK BLVD. HAMILTON, ONTARIO L8R 3K6 905-333-9718 www.kaloseng.ca		
PRESVAC LTD REAR ADDITION		
4120 MORRIS DRIVE ONTARIO		
EXTERIOR ELEVATIONS		
DATE	DRAWN BY	DRAWING No.
AUGUST 2024	T.M. & T.P.	A3.0
PROJECT No.	CHECKED BY	
24159	H.A.P.H.	



EAST ELEVATION
SCALE: 1/100 (1/4")

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SOUTH ELEVATION
SCALE: 1/100 (2/4")

EXTERIOR FINISHES

- PREFINISHED METAL WALL CLADDING COLOUR TO MATCH EXISTING (GRAY) TRIM: WHITE TO MATCH EXISTING
- PREFINISHED STANDING SEAM ROOFING COLOUR TO MATCH EXISTING (GALVALUME)

No.	DATE	REVISION
1	25/08/26	ISSUED FOR SITE PLAN APPROVAL

REVISIONS

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6
905-333-9119 www.kaloseng.co

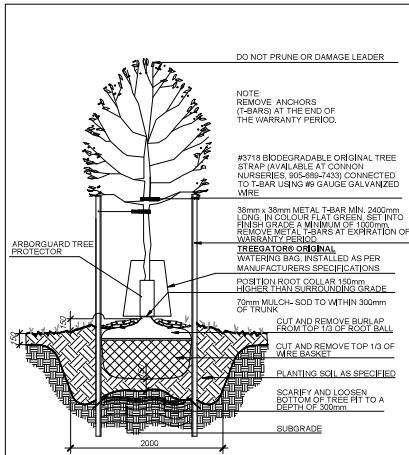
FRESHVAC LTD REAR ADDITION

4120 MORRIS DRIVE

BURLINGTON ONTARIO

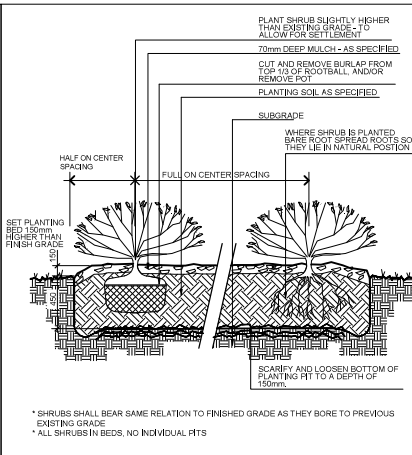
EXTERIOR ELEVATIONS

DATE AUGUST 2024	DRAWN BY T.M. & I.P.	DRAWING No. A3.1
PROJECT No. 24159	CHECKED BY H.A.P.H.	



THIS TREE DOES NOT REPRESENT ANY PARTICULAR SPECIES

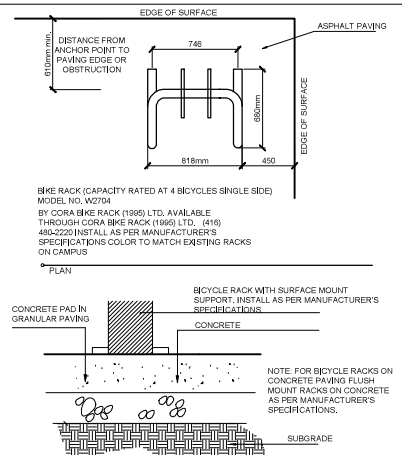
1 DECIDUOUS TREE PLANTING
N.T.S.



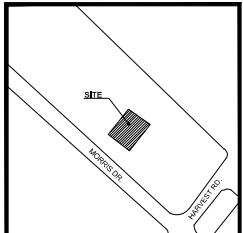
* SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS THEY BORE TO PREVIOUS EXISTING GRADE
* ALL SHRUBS IN BEDS, NO INDIVIDUAL PITS

THESE SHRUBS DO NOT REPRESENT ANY PARTICULAR SPECIES

2 SHRUB PLANTING IN BEDS
N.T.S.



3 BICYCLE RACK
N.T.S.



KEY-PLAN

LEGEND

SOURCE OF BASE INFORMATION:
Site plan provided by Kelos Engineering, Project No. 24159, received July 2025.
Tree Preservation plan & arborist report by GLN Farm & Forest Research Co. Ltd, dated August 2025.

No.	DATE	DESCRIPTION	BY
2	09/02/25	ISSUED FOR SPA	RS
1	07/01/25	ISSUED FOR REVIEW	KC

REVISIONS



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LANDSCAPE ARCHITECTURE - ENVIRONMENTAL PLANNING - RECREATION SERVICES

PRESVAC LTD REAR BUILDING ADDITION
4120 MORRIS DRIVE
BURLINGTON, ONTARIO

DETAILS

ISSUED FOR SPA
SCALE: NTS
DATE: Sept. 2, 2025
DRAWN: KC
CHECKED: MM
DRAWING: L2
PROJECT: 1674

Copyright Act Applies to Use and Production

Issued for SPA - September 2, 2025



Arborist Report and Tree Preservation Plan

For:

OMC Landscape Architects Inc.

Regarding:

4120 Morris Drive
CONSTRUCTION

Prepared by:

Shayne Plowman
GLN Farm & Forest Research Co. Ltd.

ISA Certified Arborist: ON-0425A

15 August 2025

Arborist Report and Tree Preservation Plan

4120 Morris Drive

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SUMMARY

There are 6 trees/shrubs on or adjacent to the subject (1 Public Tree, 2 bylaw regulated trees on the subject site, 1 Mugho Pine shrub on the subject site, and 2 neighbor-owned trees adjacent to the northern side of the site.)

The proposed construction consists of:

- Addition in the rear of the existing structure (1-storey industrial)
- Construction of new parking area in front of the existing building (including 1 barrier free parking space)
- Construction of a new parking area along the south side of the site.
- Replacement of the existing front concrete walkway.

The construction will require the removal of 1 bylaw regulated Norway Maple (Tree #1) and 2 small sized Mugho Pine shrubs (Tree #2).

The Public Tree and one bylaw regulated Private Tree are to be protected with Tree Protection Hoarding as shown in the drawing TPR-101. The two neighbor-owned private trees are adequately protected by an existing chain-link fence along the property line.

Note that the rear of the property was not accessible at the time of this tree inventory due to locked gates. Additionally, storage of large materials along/adjacent the rear fence would impede inventory in that area. As such, no attempt was made to catalog any trees along the rear (east) fence of the site.

INTRODUCTION

Assignment

The arborist was retained in August 2025 to prepare an Arborist Report and Tree Preservation Plan for the property located at 4120 Morris Drive for submission to Burlington Forestry Department as required by the City of Burlington tree protection by-laws.

The report is to include an inventory and location (tree survey) including rating and comments (where required) regarding the current Health and Soundness of each subject tree. Additionally, plan drawings showing proposed construction and tree preservation fencing, any mTPZ area encroachments, and proposed tree removals, at minimum, are also included.

Limits of the Assignment

Unless specifically noted, all trees are rated by Limited Visual Assessment (Ground-based), and no exploratory excavation was, or is to be, conducted to verify the presence or absence of tree roots in a given area.

Purpose and Use of This Report

This report is intended to outline all encroachments, tree injuries, and tree removals resulting from the proposed construction (or otherwise proposed by the client) as outlined in subsequent sections for review and approval by the Burlington Forestry Department. It should be noted that the approval, waiver, exemption, or denial of Approvals and/or any necessary Permits rests strictly with the Burlington Forestry Department.

Methodology

For details regarding the onsite protocols and methods used in the creation of this report, please see Appendix II - Methodology

SITE

Current Site Characteristics

Industrial building with paved access on north and south sides and fenced, partially paved open storage in the rear.

Proposed Construction

Construction of single-storey addition in rear of existing building and parking area creation in front of existing building.

Construction Phases and Anticipated Injury to Encroachment Ratios

ADDITION – ADDITION

Initial Assumptions Regarding Proposed Work

Encroachment Type: 4 Foundation (Garages and Single Storey no Basement)

Maximum Excavation Depth (m): 1.5

Maximum Build Height or Clearance (m): 5

Assumed Ratio of Injury to Encroachment

(Injury = Ratio x Encroachment)

Root Zone: 100% **Canopy:** 100%

BARRIER FREE PARKING – BARRIER FREE PARKING

Initial Assumptions Regarding Proposed Work

Encroachment Type: Asphalt Driveway

Maximum Excavation Depth (m): 0.5

Maximum Build Height or Clearance (m): 0

Assumed Ratio of Injury to Encroachment

(Injury = Ratio x Encroachment)

Root Zone: 75% **Canopy:** none

WALKWAY REPLACEMENT – WALKWAY REPLACEMENT

Initial Assumptions Regarding Proposed Work

Encroachment Type: Sidewalk

Maximum Excavation Depth (m): 0.3

Maximum Build Height or Clearance (m): 3

Assumed Ratio of Injury to Encroachment

(Injury = Ratio x Encroachment)

Root Zone: 50% **Canopy:** 50%

TREE INVENTORY SUMMARY

Tree Population

Overview

There were Six (6) trees inventoried within the scope of this survey. Of these, there are Three (3) “bylaw regulated trees” pursuant to tree protection rules of the jurisdiction(s) under which the subject site falls. The following tables show summary data for the complete tree inventory.

All Trees by Owner

Ownership	Count
Client Tree	3
Municipal tree on Municipal Road Allowance	1
Neighbor owned tree	2
Total	6

Bylaw Regulated Trees

Burlington Forestry Department (DBH 20cm or greater)	
Ownership	Count
Client Tree	2
Municipal tree on Municipal Road Allowance	1
Total	3

Species Distribution (All Trees)

Species	Count	Average DBH (cm)
Norway Maple <i>Acer platanoides</i>	2	34.0
Tree Of Heaven <i>Ailanthus altissima</i>	4	12.5
Mugho Pine <i>Pinus mugo</i>	2	17.0
Austrian Pine <i>Pinus nigra</i>	2	43.0
Northern Red Oak <i>Quercus rubra</i>	2	4.0

Summary of Trees by Status

Status	Count
Protected (small size / not regulated)	2
Protected (Regulated)	2
Remove (within zone of construction)	1
Remove (Unsuitable)	1
Total	6

Trees Receiving TPZ Encroachment or Proposed for Removal

This section lists all trees which will receive encroachment/injury or require removal as a result of the proposed construction activities, and/or their current condition. The City of Burlington must approve a Permit to Injure or Permit to Remove, where construction activities (including access) are to take place within the Tree Protection Zone of a tree which is:

20cm or larger in DBH located on private land, or

A tree of any size, which is located on Municipal/Public land.

Trees located on Municipal land may be removed only with the consent of City of Burlington, and may be subject to additional fees at the discretion of, the Municipality.

Additionally, any tree requiring a Permit to Remove may be subject to a Tree Replacement Requirement specifying the number of replacement trees to be planted on the site, or in some case, 'cash-in-lieu' where such planting would be infeasible.

Trees Proposed for Removal for Construction

There are 2 trees of various sizes within the scope of this project, which will require removal.

Tree # Species Ownership	DBH (cm) Canopy Dia. (m)	Comments Regarding Removal	Replacement Trees (30mm)	Compensation Value (in lieu)
001 Norway Maple (<i>Acer platanoides</i>) Client Tree	34cm 12.0m	In Zone: Barrier Free Parking. Encroachment (all phases): Severe. Anticipated Injury: Not survivable. Removal recommended.	2	\$715.00
002 Mugho Pine (<i>Pinus mugo</i>) Client Tree	Group of 2 pines (12cm & 12cm dbh) Nominal DBH 17cm Canopy: 6.0	Encroachment (all phases): Minor. Anticipated Injury: Negligible. Removal recommended - Unsuitable. Small Size - Bylaw exempt	n/a (smaller than 20cm)	

Regarding Compensation/Replacement Plantings

As per the City of Burlington requirements for replacement of trees to be removed, the following presents the anticipated requirement for replacement trees to compensate for the tree removals proposed within the application. The following is from the City of Burlington website:

Private trees

Private trees that are removed must be replaced, either through replanting trees, or cash-in-lieu of replacement or a combination of the two. The total amount of replacement trees is based on the tree size removed. Refer to the table below to determine how many trees you will be required to plant.

Trunk Diameter (DBH) of the Tree Removed	Compensation Ratio
20 – 35 cm	2:1
36 – 74 cm	3:1
Greater than or equal to 75 cm	4:1

Replacement trees for private tree removals must be planted within a year of permit issuance or as identified on the tree permit. Replacement trees must be able to grow to a minimum of 4.5 m height at maturity.

When considering which species of trees to replant you must first consider what tree type you are removing. One of your replacement trees must be a similar species to the tree removed. For example, if you remove a deciduous (broadleaf) tree, one of your replacement trees must also be a deciduous (broadleaf) tree.

If opting to replant, there will be a replacement tree security deposit required at the time of your application. Once the trees have been replanted and verified by staff, the deposit will be refunded. The replacement tree security deposit is calculated based on the number of replacement trees required, as it is a deposit per required replacement tree. Refer to the table above to determine the number of replacement trees required and the tree permit fees and securities section of the webpage for the fee and security information.

Replacement trees shall be planted on your private property and not on a property line unless consent from your neighbour was given in compliance with the Forestry Act.

Replacement trees can also be planted on another private lot within the City’s Urban Boundary as approved by staff. If planting on an alternate lot, that lot will need to be identified on the tree replacement plan and we require a letter from the owner of that lot indicating this acceptance. The permit holder will be responsible for paying the tree replacement security deposit, and ensuring the trees are planted. The permit holder will be responsible for notifying staff once the trees are planted to get their deposit refunded. Deposits will only be refunded to the payee of the deposit.

Replacement trees must be the following minimum sizes at the time of installation:

- 30 mm caliper if deciduous (broadleaf)
- 125 cm tall if coniferous (evergreen)

If there is no room for the replacement trees on your private lot or you opt not to replant, there will be a cash-in-lieu fee per required replacement tree (\$257.50 per replacement tree as of 2025). Refer to the table above to determine the number of replacement trees required and the tree permit fees and securities section of the webpage for the fee and security information. This money will be used toward the planting of trees elsewhere within the City.

Combinations of replacement trees and cash-in-lieu payment is also permitted to meet your tree replacement requirements for private tree removals.

There is no requirement to replant trees where a tree injury permit is issued.

Public trees

For all public tree removals, the City uses the aggregate caliper method to determine the number of tree replacements. Cash-in-lieu is collected for replacement trees to be planted by the City. The City does not allow planting on public property. Refer to the tree permit fees and securities section of the webpage for the fee and security information.

Replacement Tree Plantings are to be planted within a reasonable timeline (as specified by the municipality) upon completion of tree removal. For sites with development occurring, it is the recommendation of this arborist that the planting occur during the first planting season post construction completion. For example, if construction finishes in the winter, planting of replacement trees is to be conducted in the Spring season immediately following construction conclusion. If construction finishes in the spring/summer, planting of replacement trees is to be conducted in the Fall of that same year.

It should be noted that replacement trees that may be required are to be of Native species, or other species/varieties, deemed as acceptable by the City of Burlington. Please refer to the City of Burlington website for the current lists of suitable replacement trees. Please note that all replacement trees are subject to approval by the City of Burlington.

ARBORIST MINIMIZATION OF DAMAGE RECOMMENDATIONS

The following presents recommendations for ensuring tree protection through construction. Further, this section presents some recommendations for prior to construction commencement, as well as recommendations for post construction.

Pre-Construction Phase

Prior to the commencement of construction, tree preservation hoarding, as well as arboricultural work with regards to any removals and any required pruning for construction, should be implemented as follows:

1. All Tree Preservation Hoarding is to be erected and placed as per the location presented on the attached Tree Preservation Plan Drawing: TPR 101.
Note: Tree Protection Hoarding must be installed upon approval of the tree preservation plan, and prior to release of the permits regarding tree injury. Upon approval of the Arborist Report and Tree Preservation Plan, and conditions of permit release being sent to the client, the hoarding is to be erected.
2. If it is determined by engineering that silt fencing be required for the site to prevent silt movement, it is the recommendation of the arborist that the silt fencing be placed following and on the construction side of tree protection hoarding.
3. If silt fencing is deemed required within hoarded areas of tree protection, it is not to be dug in in this area, but instead have a minimal amount of clear stone placed at the base. This will prevent impact to tree roots in area from the digging in of the silt fence base, while still allowing for the prevention of silt movement beyond the silt fence.
4. All tree protection hoarding (vertical and/or horizontal), and silt fencing (if required), is to be inspected for correct construction and placement as per the approved Tree Preservation Plan Drawing and Site Plan by a Certified Arborist, or other approved consultant, or by a member City of Burlington Staff. If inspected by other than the City of Burlington staff, the consultant will provide written certification to the municipality that all protective hoarding and sediment control measures (if/where required) have been satisfactorily installed.
5. Any pruning of trees that is to occur, as approved and permitted by the City of Burlington for bylaw regulated trees, should occur during this phase. No pruning of bylaw regulated trees may occur until such time as the pruning has been approved by Forestry and tree injury permits have been released and are present on site.
6. Any removal of bylaw regulated trees, as approved and permitted by the City of Burlington should occur during this phase. No removals of bylaw regulated trees may occur until such time as tree removal permits have been released and are present on site.

Post-Construction

Upon completion of the construction on the site, it is recommended that the following be undertaken to promote health and vigor of trees on the site as they recover from construction impacts.

1. Upon completion of construction and approval of such from the City of Burlington, tree protection hoarding may be removed from the site.
2. Areas proposed for finish grading in preparation for turf installation/garden bed/plant installation is to occur. In regard to this finish grading work and soft landscaping the following are recommended:
 - Finish Grading/Soft Landscaping is not to commence until all aspects of primary construction, landscape construction, and swale/berm creation (including access) are completed.
 - Upon completion of the construction phases, with the only phase remaining being that of the finish grading and soft landscaping (planting/installation of turf grass), the tree protection hoarding may be removed to allow for finish grading/soft landscaping in these areas to occur.
 - All final grading/soft landscaping in areas of protected root zones should be done using hand equipment only.
 - All final grading/soft landscaping in areas of tree protection zones should be done by foot access only.
3. Replacement Tree Plantings, where/if required for tree removals, and as per an approved Replacement Tree Planting Plan/Landscape Plan, are to be conducted. Any replacement tree planting should be conducted in the next planting season post construction completion as follows:
 - If construction completion occurs in the fall/winter, compensation planting is recommended to occur in the first spring season post completion.
 - If construction completion occurs in the spring/summer, compensation planting is recommended to occur in the first fall season post construction completion.
 - It is recommended that a mulch bed be placed in the areas surrounding the base of trees. This area is recommended to be 6:1 of DBH at minimum, up to the size of the canopy area extent. Further, the mulch bed should be no greater than 2.5cm - 5cm (1 - 2 inches) in depth. A mulch layer in the root zone area will moderate soil temperature and moisture loss through evaporation, creating a better growing environment for roots.

GENERAL TREE PROTECTION GUIDELINES

Except as specifically stated in this report, all tree protection policies and zones are to be maintained in accordance with City of Burlington Tree Protection Policy and Specifications.

Tree Protection Zones

All tree protection zones are to be implemented as shown in the arborist drawing. Tree protection barriers are shown and to be constructed not closer than specified in the table: Appendix I – Tree Inventory – (Minimum TPZ radius). Where practicable (and this cannot be anticipated in the drawing phase), these barriers may be increased in size up to the Recommended TPZ radius as described in that same table.

No construction activity, including grade changes, surface treatments or excavations of any kind is permitted within the area identified on the plan as a Tree Protection Zone (TPZ). No root cutting is permitted. No storage of materials or fill is permitted within the TPZ. The areas identified as Tree Protection Zones must remain undisturbed at all times.

Tree Protection Barriers

Tree protection barriers should be constructed of solid plywood or equivalent, to a height of 1.2m around the front and sides of the construction envelope. In areas where visibility is of concern poly fencing may be used as a suitable tree protection-hoarding substitute. This will provide adequate tree protection while allowing for ample visibility.

All tree protection hoarding must be erected as shown in the attached arborist sketch TPR – 101.

General Note

Prior to the commencement of any site activity the tree protection barriers specified herein must be installed and written notice provided to City of Burlington, Forestry Department. The tree protection barriers must remain in effective condition until all site activities including landscaping are complete. A sign as specified in Tree Protection Policy and Specification for Construction Near Trees must be attached to all sides of the barrier and at regular intervals for lengthy barriers. Written notice must be provided to City of Burlington prior to the removal of the tree protection barriers.

Arboricultural Work

Any roots or branches extending beyond the tree protection zones indicated in this report and its associated drawings, which require pruning, must be pruned by a Qualified Arborist or other tree professional as approved by City of Burlington. All pruning of tree roots and branches must be in accordance with good arboricultural standards. The Arborist must contact the City of Burlington no less than 48 hours prior to conducting any specified work.

APPENDIX I – TREE INVENTORY

Tree Num	Botanical/ Common Name Owner	DBH (cm)	Canopy Dia (M)	mTPZ (M)	CRZ (M)	Condition			Overall %	Comments	Construct Tolerance Index (1-7)	Total Encroachments %			Construction Comments	Status
						Health (0-5)	Structure (0-5)	Form (0-5)				mTPZ	CRZ (Alt TPZ)	Canopy		
001	Acer platanoides Norway Maple Client Tree Industrial property.	34	12.0	2.57	4.00	3	3	4	65% - Good	Thin with Deadwood in canopy. Large t-bar stake embedded in trunk.	Moderate - Good	100.00 %	85.32%	40.92%	In Zone: Barrier Free Parking. Encroachment (all phases): Severe. Anticipated Injury: Not survivable. Removal recommended.	Remove (within zone of construction)
002	Pinus mugo Mugho Pine Client Tree Industrial property.	17	6.0	2.48	4.00	4	4	3	72% - Good	Group of 2 mugho pine. Entangled with wild grape. Overgrown. Not suitable for location.	Moderate - Good	9.07%	11.64%	11.22%	Encroachment (all phases): Minor. Anticipated Injury: Negligible. Removal recommended - Unsuitable.	Remove (Unsuitable)
003	Pinus nigra Austrian Pine Client Tree Industrial property.	43	8.0	3.22	5.00	3	4	3	65% - Good	Adjacent new driveway. Has been pruned to 8m on northwest side.	Moderate - Good	0.00%	0.00%	0.00%	Protected.	Protected (Regulated)
004	Quercus rubra Northern Red Oak Municipal tree on Municipal Road Allowance Industrial property.	4	2.0	1.82	1.80	4	4	4	80% - Good	New planting 10.5m south of cl of new drive, 3m east of road curb.	Moderate - Good	0.00%	0.00%	0.00%	Protected.	Protected (Regulated)
005	Ailanthus altissima Tree Of Heaven Neighbor owned tree Industrial property.	10	4.0	1.85	1.80	4	4	4	80% - Good	Ailanthus not accessible. DBH estimated. Position from aerial photo.	Not Rated	0.00%	0.00%	0.00%	Protected.	Protected (small size / not regulated)
006	Ailanthus altissima Tree Of Heaven Neighbor owned tree Industrial property.	15	6.0	2.48	4.00	4	4	4	80% - Good	Ailanthus not accessible. DBH estimated. Position from aerial photo.	Not Rated	0.00%	0.00%	0.00%	Protected.	Protected (small size / not regulated)

APPENDIX II – ARBORIST’S DECLARATIONS

This report represents a fair and accurate assessment of the number, type, size, and condition of the tree(s) on the aforementioned property.

Certificate of Performance

I, Shayne Plowman, certify that:

- I have personally inspected the trees and the property referred to in this report and have stated my findings accurately. The extent of the evaluation or appraisal is stated in the attached report and the Terms of Assignment.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis, opinions, and conclusions were developed and this report has been prepared in accordance with commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated within this report.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- I further certify that I am a member in good standing of the International Society of Arboriculture, and that I carry the designation of ISA Certified Arborist ON-0425A I have been involved in the field of Arboriculture in a full-time capacity for a period of more than 30 years.



Shayne Plowman

ISA Certified Arborist: ON-0425A

15 August 2025

Assumptions and Limiting Conditions

- Any legal description provided to the consultant is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as free and clear, under responsible ownership and competent management.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
- The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
- Loss or alteration of any part of this report invalidates the entire report.
- Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written consent or verbal consent of the consultant.
- Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant particularly as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designations conferred upon the consultant as stated in his qualifications.
- This report and values expressed herein represent the opinion of the consultant, and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
- Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
- Unless expressed otherwise:
 1. Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and
 2. The inspection is limited to visual examination of accessible items without dissection, excavation, probing or cutting.
 3. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.

Disclaimer

This report is based upon Land Survey drawings (with tree locations marked) provided by the client and prepared by a professional Land Surveyor. No grading information was provided at the time of preparation of this report.

The arborist is not a professional Land Surveyor, and as such can make no claim as to the accuracy of the provided drawings.

15 August 2025

A handwritten signature in black ink, appearing to read 'S. Plowman', with a stylized flourish at the end.

Shayne Plowman

ISA Certified Arborist: ON-0425A

APPENDIX III – METHODOLOGY

Location

Unless otherwise specified, this Tree Survey is based upon Land Survey drawings for tree locations. Where additional trees are located, by the arborist, the locations of these trees are approximate only, to within 30cm. This dilution of precision is sufficient for most Tree Preservation requirements but should not be used to determine ownership of the subject tree. Additionally, where additional trees are located by GPS positioning (GIS) although without use of Differential GPS equipment, positional accuracy is limited to 3-5m (not sufficient for most tree preservation calculations).

Measurements

DBH (D140/D150)

The Tree Survey (inventory and location) will encompass any trees on the client site having a DBH of 10cm or greater; trees of any size on adjacent municipal lands and situated within 6m of the client site, or zone of construction; trees having a DBH of 10cm or greater on adjacent private lands and situated within 6m of the client site. Trunk diameters are measured using a diameter tape and rounded upwards to the nearest centimeter. In the case of a multi-stemmed tree, nominal DBH will be calculated as the square root of the sum of the squares of the stem diameters. In the case of hedges, the nominal DBH will be considered to be the diameter of the largest tree.

Canopy

Canopy diameters are representative of the greatest distance from canopy edge to trunk, and should be accurate to ± 50 cm, unless otherwise specified. In the case of hedges, the nominal canopy radius will be considered to be the greatest extent perpendicular to the line of the hedge.

Other Measurements

Where applicable, Height (measured by clinometer and accounting for grade), Trunk Lean (measured by angle protractor), with compass direction, and Canopy Offset (distance and compass direction), may also be recorded for some or all subject trees.

Evaluation of Tree Condition

All trees are evaluated based on Health, Structure and Form. These individual ratings are then combined into one overall Condition Rating. All ratings are based on criteria as shown below.

RATING	HEALTH	STRUCTURE	FORM
0	Dead	Dead	Dead
1 (Very Poor)	Appears to be dying and in the last stages of life. Little live foliage	Single or multiple severe defects. Failure is probable or imminent.	Visually unappealing. Provides little or no function in the landscape
2 (Poor)	Unhealthy and declining in appearance. Extensive twig or branch dieback.	Single serious or multiple significant defects. Recent changes in orientation. Uncorrectable. Failure may occur at any time.	Largely asymmetrical or abnormal. Detracts from intended use or aesthetics to a significant degree.
3 (Fair)	Reduced vigor. Damage due to insects or diseases may be significant, but unlikely to be fatal. Dieback, defoliation, or dead branches may comprise up to 50% of the crown.	Single defect of significant or multiple moderate defects. Defects are not practical to correct or would require multiple treatments over several years.	Major asymmetries or deviations from either species norms or intended use. Function or aesthetics are compromised.
4 (Good)	Normal vigor. No significant damage from insects or diseases. Twig dieback, defoliation or discoloration is minor.	Well-developed structure. Defects are minor and can be corrected.	Minor asymmetries or deviations from species norms. Mostly consistent with intended use. Function and aesthetics are not compromised.
5 (Excellent)	High vigor and nearly perfect health. Little or no twig dieback, defoliation, or discoloration.	Nearly ideal and free from defects.	Nearly ideal for the species. Consistent with intended use.

Unless otherwise specified, tree condition is determined by Limited Visual Assessment (ground based), and is determined on site, as separate Health, Structural, and Form score according to the above ratings as per Guide for Plant Appraisal 10th Edition. Overall Condition Rating is calculated as the Harmonic Mean of the Health, Structure and Form Ratings.

Appraisal

Where required, some or all of the inventoried trees will be Appraised (monetarily valued). All appraisals are conducted in accordance with the Guide for Plant Appraisal 10th Edition - ISBN 978-1-943378-02-9.

Assessment of TPZ Encroachment and Anticipated Impact

All trees are evaluated for root impact potential where a TPZ encroachment is proposed. To provide an anticipated impact, the following assumptions are made:

1. Unless otherwise specified, root distribution on all sides of the tree is equal. For purposes of root assessment, the rooting area is assumed to be an equally distributed disc of rooting around the tree.
2. Unless otherwise specified, rooting profile depth is anticipated to be 1.2m. as is consistent with the rooting profile of trees in average soil profile conditions.
3. Encroachment is calculated using Area x Area method unless otherwise specified (such as for bisecting trenches).
4. Anticipated Root Impact takes in to account the area of encroachment, depth of excavations/fill required, and any mitigating factors (such as a limited rooting profile – e.g. foundation preventing rooting beyond wall extent) to determine an expected root mass injury to the tree.

From the anticipated root mass impact, a designation regarding the impact to botanical health is assigned. This is separated into four categories as follows:

1. **0.5% - 10% Anticipated Impact: Minimal Impact**
 - No Significant Dieback anticipated, however, some branch tip/branchlet dieback may occur in impacts approaching 10%
 - Minimal reduction in growth rate through recovery post impact (1-2 seasons)
 - Sensitive Species may have a minor increase in susceptibility to biotic/abiotic disorders (insect/disease/environmental)
 - No long term detriment to the botanical health, or structural integrity of the tree. The tree is expected to fully recover from injury.

2. **11% - 19% Anticipated Impact: Moderate Impact**
 - Branch Dieback anticipated, however, it is expected to be minimal to moderate, affecting no greater than 15% of the total canopy area
 - Reduction in growth rate through recovery of post impact (2 - 5 seasons)
 - Reduced Canopy Density
 - Increase in susceptibility to biotic/abiotic disorders (insect/disease/environmental)
 - No significant detriment to the function of the tree anticipated long term, however, botanical health will receive impact for multiple seasons.
 - No Impact to structural integrity is expected
 - The tree is expected to recover from injury to its' preconstruction impact health rating (approximately), however, monitoring is recommended post construction to provide treatment through recovery including (but not limited to): fertilization, treatment of disorders as may arise (abiotic/biotic), compaction alleviation (where applicable), maintenance pruning, etc.
3. **20% - 25% Anticipated Impact: Major Impact**
 - Branch Dieback anticipated to be major and significant but tolerable with after care, affecting no greater than 25% of the total canopy area
 - Significantly reduced growth rate through recovery post impact (>5 seasons)
 - Reduced Canopy Density
 - Increase in susceptibility to biotic/abiotic disorders (insect/disease/environmental)
 - Long term (>5yr) detriment to the function of the tree anticipated. Botanical health will receive impact for multiple seasons, if not be impacted permanently.
 - The tree is expected to recover from injury and tolerate the impact, however, it is expected that it will be reduced in botanical health as compared to its' preconstruction impact health rating. Additionally, form will be permanently impacted by either dieback or required pruning. Monitoring is recommended post construction to provide treatment through recovery and ensure survival including (but not limited to): fertilization, treatment of disorders as may arise (abiotic/biotic), compaction alleviation (where applicable), maintenance pruning/deadwood removal (as required), etc.
 - Specialized fertilization or insect/disease treatments may be required due to total root mass injury through recovery, such as direct stem injection.
 - Note: Where Major impact trees are to be preserved, no significant impact to stability of the root plate is expected to occur.
4. **> 25% Anticipated Impact or Stability Impact to Root Plate: Critical Impact – Tree to be Removed due to Construction Impact**
 - Botanical impact not anticipated to be tolerable (Tree anticipated to have a 50% or less chance of survival from impact), or
 - Impacted stability of root plate from construction
 - Tree to be proposed for removal.

APPENDIX IV – DRAWING REFERENCE

Based upon the information obtained in the tree survey, the trees are to be plotted, to scale. Depending on the intended use of the drawings, these will be overlaid on: Survey, Site Plan or Grading Plan provided by others. The arborist is not responsible for deficiencies in drawings prepared by others. For most purposes, drawings will be published at a scale of 1:200 (metric) with dimensions in metric and imperial units, on a standard sheet size of Arch-D (24x36). Where permitted by the recipient, drawings may be produced at a scale of 1:250, or in a larger sheet size of Arch-E (36x48). Should multiple sheets be required, an index drawing (TPR-100) will be provided at a smaller scale (e.g., 1:500, 1:1000).

Drawing Indexing and Content

TPR-1xx series

- All surveyed trees, with Tree Number, Species, DBH, Minimum TPZ, and Canopy extents plotted.
- Any trees which are proposed to be removed.
- Trees which will potentially be subject to Injury because of the proposed site work are not uniquely identified.
- Hatching to clearly identify areas of Tree Protection Zone encroachment by the proposed construction. (*Hatching may be omitted for clarity*)
- Locations for prescribed Tree Protection Fencing.
- Minimization of Damage notes.
- Scale 1:100 (*small sites only*), 1:200, 1:250

APPENDIX V – DRAWINGS

