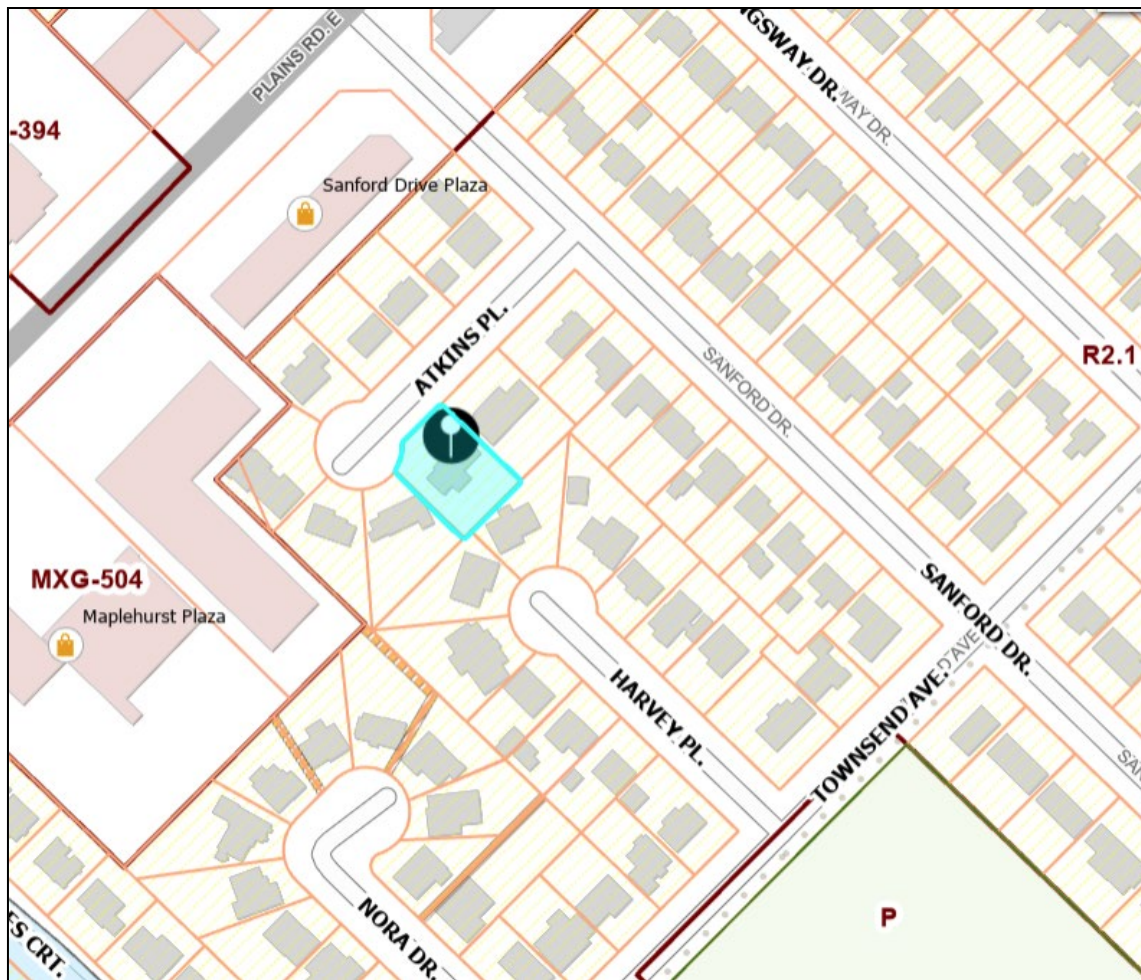


**COMMITTEE OF ADJUSTMENT  
MINOR VARIANCE  
STAFF REPORTS**

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Owner(s): Colin Hall and Gillian Hall  
Address: 504 Atkins Place, Burlington  
File No. **A-011/26**  
Ward: 1



**Staff Comments:**

**Committee of Adjustment**

There are no previous land division or minor variance applications on record for this property.

Date: March 23, 2026

Prepared By: E. Shacklette

**COMMITTEE OF ADJUSTMENT  
MINOR VARIANCE  
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## Zoning

### 1) Background information:

The subject property is zoned R2.1, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The R2.1 zone requires, among other things, the following:

#### 4.1 LOT WIDTH, AREA, YARDS

**Table 2.4.1**

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
<b>R2 ZONES</b>						
<b>R2.1</b>	18 m	700 m <sup>2</sup>	11 m <b>(e)(f)</b>	10 m <b>(c)</b>	<b>(a)(d)</b>	4.5 m

#### **Footnotes to Table 2.4.1**

(a) With attached garage or carport: 10% of actual lot width  
(27.79 M x 10% = 2.779 m)

### 2) Proposal:

The applicant is proposing the construction of a one storey detached dwelling with attached garage.

### 3) Variances required:

- To permit a north-east side yard of 1.5 m instead of the minimum required 2.779 m for a proposed one storey detached dwelling with attached garage.

### 4) Notes and conditions:

#### **Condition:**

- The applicant shall apply for a Pre-Building Approval Application.

#### **Notes:**

- Minor variances have been identified based on the plans submitted for zoning review. If changes to the plans are made after minor variance approval that result in the need for additional minor variances, they will be the responsibility of the applicant to obtain.

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2. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: March 24, 2026

Prepared By: S. Boich

### Site Planning

<b>Site Characteristics</b>	
<b>Lot Frontage (m)</b>	27.79m
<b>Lot Area (m<sup>2</sup>)</b>	1017.4m <sup>2</sup>
<b>Existing Land Uses</b> <i>(ex. buildings, structures, driveways, fences, etc...)</i>	One Storey Dwelling, asphalt driveway, front walkway and porch
<b>Site Grading</b> <i>(ex. Flat and level, significant grade differences)</i>	Generally flat and level
<b>Notable Site Features</b>	N/A
<b>Surrounding Land Uses</b> <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Low-rise Residential and Institutional uses
<b>Nearest Major Intersection</b>	Plains Road E and King Road
<b>Neighbourhood Boundaries*</b>	North: Plains Road E. East: King Road South: Townsend Avenue West: Shadeland Avenue
*Based on OP, 1997 residential neighbourhood definition	

### Neighbourhood Characteristics:

- The prevailing built form consists primarily of one-storey detached dwellings, with some two-storey dwellings interspersed throughout the area.
- The immediate surrounding area is largely characterized by one-storey dwellings, contributing to a consistent low-rise streetscape.
- Original dwellings are generally modest in scale, characterized by simple building footprints and gable roof forms.
- More recent redevelopment in the area has introduced some two-storey detached dwellings with larger footprints and increased overall massing.
- There are a limited number of redeveloped properties within the immediate area, with newer infill generally taking the form of two-storey dwellings.
- Front and side yard setbacks are relatively consistent throughout the neighbourhood.
- At the time of application, the subject lands were zoned under Zoning By-law 2020, with surrounding properties primarily within the R2.1 zones.
- Under the recently approved 2026 Residential Zoning By-law, the surrounding lands are zoned (H4) LN5.

A site visit was conducted on April 17, 2026, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

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**1) City of Burlington Official Plan:**

**Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?**

**Yes**

**Regional Official Plan (2022):**

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that the addition of a second storey is permitted by the City's Zoning By-law, staff are of the opinion that the proposal meets the general intent and purpose of the ROP.

**Official Plan, 1997 & 2020**

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal/variances meet the general intent and purpose of the Official Plan for the following reasons:

- The proposal is consistent with the permitted uses under the property's 'Low-Rise Neighbourhoods I' land use designation according to Schedule 'C'/Schedule 'B' (Land Use - Urban Area/Comprehensive Land Use Plan- Urban Planning Area) of the BOP, 1997/BOP, 2020, as amended, which permits ground-oriented, low-density housing, and where compatible infill, small-scale additions, and renovations are encouraged.
- Whereas Section 8.3.2(1)(a)–(d) of the BOP, 2020 (Low-Rise Neighbourhoods I) directs that new development and additions shall be compatible with the surrounding context and maintain the predominant character of the neighbourhood with respect to height, massing, and setbacks, the proposal is consistent with these objectives in the following ways:
  - The proposed dwelling maintains a one-storey built form, which is consistent with the predominant character of the immediate surrounding area.

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- 
- The proposal reflects an established pattern of asymmetrical side yard setbacks within the neighbourhood, where dwellings maintain a larger setback on one side and a reduced setback on the other.
  - The reduced side yard setback is comparable to other conditions observed in the surrounding area and does not introduce a built form that is out of character.
  - The siting of the dwelling responds to site-specific constraints, including the presence of an unregistered easement, which has influenced the placement of the building on the lot.
  - The proposal represents a modest and appropriate form of redevelopment that contributes to the ongoing evolution of the neighbourhood without resulting in overdevelopment.
- Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
    - - The proposed addition is designed to be consistent with the architectural style of the existing dwelling and the broader neighbourhood, including rooflines, proportions, and window design.
      - The proposal maintains appropriate separation from adjacent properties and is not anticipated to result in adverse impacts.
      - The reduced side yard setback is minor in its physical impact and consistent with the observed development pattern in the area.
      - The proposal does not disrupt the existing streetscape or neighbourhood character and maintains a built form that is in keeping with the surrounding context.

## **2) City of Burlington Zoning By-law 2020:**

**Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?**

### **Yes – (Side yard setback (Part 2, Section 4.1, Table 2.4.1))**

The general intent and purpose of the minimum side yard setback provision of Burlington Zoning By-law 2020 is to ensure adequate separation between buildings, provide access for maintenance and drainage, allow for light and air between structures, and minimize potential impacts on adjacent properties in terms of massing, shadowing, and spatial relationships. The proposed minor variance to permit a north-east side yard of 1.5 m instead of the minimum required 2.779 m maintains the general intent and purpose of this provision for the following reasons:

**COMMITTEE OF ADJUSTMENT  
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- The proposed one-storey dwelling maintains a low-profile built form, reducing potential impacts related to shadowing, massing, and overlook on adjacent properties.
- The reduced side yard setback continues to provide adequate separation between buildings and allows for functional access and drainage.
- The proposal reflects an established pattern of asymmetrical side yard setbacks within the neighbourhood, where reduced setbacks on one side are common.
- The siting of the dwelling responds to site-specific constraints, including the presence of an unregistered easement, while maintaining the overall intent of providing appropriate spatial separation.

### **3) Desirability:**

**Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?**

#### **Yes**

The proposed minor variances are desirable for the appropriate development and use of the land for the following reasons.

- The reduced side yard setback facilitates a functional building layout for a one-storey dwelling while responding to site-specific constraints, including the presence of an unregistered easement.
- The proposal maintains a low-profile built form that is compatible with the predominant character of the surrounding neighbourhood.
- The reduced setback reflects an established pattern of asymmetrical side yard conditions in the area and does not exceed the character of the neighbourhood, as the resulting built form maintains consistent spacing, scale, and relationship to adjacent properties that is typical of the surrounding area.
- The variance maintains adequate separation between buildings and does not result in adverse impacts on adjacent properties.
- Urban Forestry and Landscape Planning, as well as Engineering, have reviewed the application and have not raised any objections to the proposed variance.

### **4) Minor in Nature:**

**Is the proposed minor variance(s) from the zoning by-law considered minor in nature?**

#### **Yes**

The proposed minor variance(s) are minor in nature for the following reasons:

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- The reduced side yard setback represents a practical response to site-specific conditions, including the presence of an unregistered easement, and reflects an established pattern of asymmetrical side yard setbacks within the surrounding neighbourhood, where dwellings commonly maintain a larger setback on one side and a reduced setback on the other.
- The requested reduction to a 1.5 m side yard represents a measurable deviation from the required 2.779 m; however, the “minor” test is based on the practical effect of the variance rather than the numerical difference alone, and in this case, the reduced setback does not result in any tangible adverse impacts.
- The recently approved Residential Zoning By-law establishes a reduced interior side yard requirement of 1.8 m, and the proposed 1.5 m setback represents a limited and reasonable deviation from this emerging standard, supporting a more flexible approach to residential setbacks.
- The variance increases the utility and functionality of the proposed one-storey detached dwelling by allowing for a more efficient building layout while maintaining appropriate spatial relationships on the lot.
- The proposed one-storey built form minimizes potential impacts related to shadowing, overlook, and massing, and the reduced setback continues to provide adequate separation between buildings without impacting adjacent properties.

**Cumulative Effects of Multiple Variances and Other Planning Matters:**

N/A

**Recommendation:**

Staff has reviewed the proposed variance in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: April 24, 2026

Prepared By: Ryan Kochuta

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**Report Schedules & Attachments:**  
Attachment No. 1 (Site Photos)



*View from the front*



*View of existing side yard and 512 Atkins Place. – from front*



*View of existing side yard and 512 Atkins Place. – from rear*



*View of existing side yard and 512 Atkins Place. – from rear*



*View of existing side/rear yard and 955 Harvey Place. – from rear*

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**Technical Reviewer Comments:****Development Engineering**

Development Engineering has reviewed the proposed minor variances and has no objection to the requested relief. Please note that no additional hard surfaces are permitted within the 1.5 m side yard, as they may impact the proposed swale.

Revisions to the plans may be required through the Grading and Drainage Clearance Certificate (GDCC) process.

Date: April 7, 2026Prepared By: R.Bardaloo**Forestry**

Forestry has no objection to the proposed variances requested.

Forestry has reviewed the application and has the following advisory comments:

**Advisory Comments:**

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Public and Private Tree By-laws.

Date: April 7, 2026Prepared By: M.Krzywicki**Building**

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

Date: April 24, 2026Prepared By: Q. Tan**Transportation Planning**Deemed Road Width Analysis

Atkins Place is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: February 18, 2026Prepared By: Thalia Thompson

**COMMITTEE OF ADJUSTMENT  
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Transportation Planning have reviewed the proposed minor variance application and have no comments as the proposed parking meets the minimum required.

Date: March 30, 2026

Prepared By: Thalia Thompson

### **Finance**

#### **Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

#### **Tax**

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: March 25, 2026

Prepared By: L. Bray

### **Agency Comments:**

#### **Halton Region**

Regional Staff have reviewed the Minor Variance application proposing the construction of a one storey detached dwelling with attached garage. Variance is requested to the minimum required side yard depth.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Regional Staff have no objections to the Minor Variance application.

Date: April 8, 2026

Prepared By: Navjot Kaur

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**Burlington Hydro**

Comments not received as of the date of publication of this report.

The applicant is responsible for engaging with Burlington Hydro as part of their development project.



MINOR VARIANCE – 2026

Committee of Adjustment
Department of Community Planning
426 Brant Street, Burlington ON
committeeofadjustment@burlington.ca

PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

[X] Section 45 (1) of the Planning Act

[ ] Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y[X] or N[ ]

Name of Planner: Ryan Kochuta

Name of Zoning Examiner:

PROPERTY INFORMATION

Municipal Address(es) of property:

504 Atkins Place

Legal Description of property:

Lot 31, Plan PF833

Official Plan Designation: Residential

Current Zoning Designation R2-1

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Colin & Gillian Hall

Mailing Address: 276 Southview Road

City: Oakville

Postal Code: L6K 2P5

Home Phone:

Mobile Phone:

Work Phone:

E-Mail:

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

W.E. Oughtred & Associates Inc. (Meagan Sanderson, Bill Oughtred, Kristie Oughtred, Arlene Beaumont)

Business Address: 2140 Winston Park Drive, Suite 26

City: Oakville

Postal Code: L6H 5V5

Home Phone:

Mobile Phone:

Work Phone:

E-Mail:

**PROPOSED DEVELOPMENT** Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

Demolition of existing SFD and construction of new SFD

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Variance(s) Requested	Zoning Bylaw Requirement
Side yard setback of 1.52m (on the east side)	10% of actual lot width or 2.74m in this instance

**In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:**

1. Why is the variance(s) minor in nature? \_\_\_\_\_

There is a storm sewer line running through the property line on the west side that does not have an easement. As such, the house was shifted to the east to maintain a 1.5m setback from the storm sewer.

2. Why are the variance(s) desirable for the appropriate use of the land? \_\_\_\_\_

The variance maintains generous setbacks on the west side.

3. Do the variance(s) meet the intent and purpose of the Official Plan? \_\_\_\_\_

Yes,

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? \_\_\_\_\_

Yes.

<b>PROPERTY DETAILS (please complete all fields):</b>				
Date property purchased:	Date property first built on:	Date of proposed construction:		
2025	unknown	05/01/2026		
mmm/dd/yyyy	mmm/dd/yyyy	mmm/dd/yyyy		
<b>Existing Use of the Subject Property</b> (check one):		Length of time the existing uses of the subject property have continued:		
Detached Dwelling <input checked="" type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/>		over 50 years <b>Proposed Use of the Land:</b> residential		
<b>Existing Uses of Abutting Properties</b> (check all that apply)				
Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>				
<b>Additional Information</b>				
Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>				
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>				
<b>Type of Access to the Subject Lands</b>				
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>
<b>Municipal Services Provided</b>				
Water <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Sanitary Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Storm Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
<b>IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:</b>				
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent				

**FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS**

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
27.43m	33.16 (irreg)	1017.4sm	20m	20m		39.9%	

**Particulars of all buildings and structures on or proposed for the subject lands**

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/Addition)	
Ground Floor Area (incl. attached garage) TO be demolished	M <sup>2</sup>	Ground Floor Area (incl. attached garage) 303.98	M <sup>2</sup>
Gross Floor Area:	M <sup>2</sup>	Gross Floor Area: 211.54	M <sup>2</sup>
Number of Storeys:		Number of Storeys: 1	
Width:	M	Width: 21.18	M
Length:	M	Length: 15.34	M
Height:	M	Height: 6.66	M
<b>Garage/Car Port</b>		<b>Garage/Car Port</b>	
Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>	Detached?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Gross Floor Area:	M <sup>2</sup>	Gross Floor Area: 53.97	M <sup>2</sup>
Width:	M	Width: 7.87m	M
Length:	M	Length: 7.26	M
Height:	M	Height: 3.048	M
<b>Accessory Structures (Shed, Gazebo, etc)</b>		<b>Accessory Structures</b>	
Gross Floor Area:	M <sup>2</sup>	Gross Floor Area:	M <sup>2</sup>
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
<b>Other (pool, additional sheds, decks, driveways, etc.)</b>		<b>Other</b>	
Gross Floor Area:	M <sup>2</sup>	Gross Floor Area:	M <sup>2</sup>
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
<b>LOCATION of all existing and proposed buildings and structures</b>			
<b>EXISTING</b>		<b>PROPOSED</b>	
Front:	M	Front: 11.13	M
Rear:	M	Rear: 10.73	M
Side/Street Side:	M	Side/Street Side: 4.72	M
Side/Other Side:	M	Side/Other Side: 1.52	M

**EXEMPTION FROM NEW SURVEY REQUIREMENT**

Minor additions to an existing dwelling or for a proposed accessory building or structure (i.e., deck, driveway, pergola, shed), may be exempt from having to provide a new survey. Please refer to Page 3 of this application package for more details. Minor Variances with concurrent Consent applications require a new survey.

Applicant/Owner: W.E. Oughtred & Associates INC.	Property Address: 504 Atkins Place
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1. I, Meagan Sanderson In my capacity as Agent do attest to the following:  
Print Name (Owner or agent)

**Please complete Section A, B, or C**

**A.** The OLS survey/sketch of survey dated \_\_\_\_\_  
mmm/dd/yyyy  
 has been revised by: \_\_\_\_\_  
(Person or Company Name)

**OR**

**B.** The site plan, architect's plan or engineer's plan dated 01/28/2026  
mmm/dd/yyyy  
 has been revised by: TMK Surveying  
(Person or Company Name)

**OR**

**C.** The sketch or plot plan\*\* dated \_\_\_\_\_  
mmm/dd/yyyy  
 \*\*Accepted for applications involving variances for Uses only.  
 was prepared by: \_\_\_\_\_  
(Person or Company Name)

2. All structures, measurements, setbacks and boundaries of the property are shown accurately as of: \_\_\_\_\_  
mmm/dd/yyyy

3. The material submitted shows all measurements in metric, as calculated/converted by: \_\_\_\_\_  
(Person or Company Name)

4. Should the need arise during application processing for a new OLS survey, the applicant/agent agree to provide the survey as required by Committee or city staff in order to receive a decision on the application.

<u></u> Signature of Owner/Applicant	<u>02/02/2026</u> Date (mmm/dd/yyyy)
--	---

**POSTING OF ADVISORY SIGN**

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

**DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.**

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

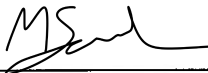
**I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.**

Owner Name

Colin Hall

Property Address

504 Atkins Place



Signature of Owner/Applicant

02/02/2026

Date (mmm/dd/yyyy)

**AFFIDAVIT**

\*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable)  Signature of Applicant or Authorized Agent

Agent: JOE GARDNER + ASSOC. INC

I, KEVIN DEWITT of the TORONTO of \_\_\_\_\_ in the PEEL (print name) (Region/City/County) (City/Town/Township)

of MISSISSAUGA solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the CITY of MISSISSAUGA in the PEEL (Region/City/County) (City/Town/Township)

this 5 day of Feb 2026.

  
[Signature]  
Signature of Commissioner etc.

[Signature]  
Signature of Applicant or Authorized Agent

**PERMISSION TO ENTER**

\*IMPORTANT\* This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 504 Atkins Place

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

[Signature]  
Signature of Owner

COLIN HALL  
GILLIAN HALL  
Print Name

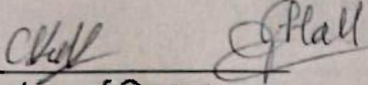
**OWNERS AUTHORIZATION**

If using an agent, the owner must also complete the following form:

I, COLIN & GILLIAN HALL being the registered owner of the subject lands, hereby  
(print name)

Authorize W.E. Oughtred & Associates Inc. to prepare, submit and act on my behalf with respect to this  
(print agent name)

application for a Minor Variance.

  
Signature of Owner

01 | 28 | 2026.  
Date (mmm/dd/yyyy)

**Notice of collection of personal information**

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

<b>Minor Variance Application Checklist</b> Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	<b>Select (✓)</b>
<b>LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor)</b>  * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	<input checked="" type="checkbox"/>
OR	
<b>DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.</b>	<input checked="" type="checkbox"/>
AND	
<b>PLAN and ELEVATION DRAWINGS which include the following as applicable:</b> (Missing details or illegible drawings will be sent back to the applicant for correction)	<input checked="" type="checkbox"/>
<b>SITE PLAN</b> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Metric Scale</li> <li><input checked="" type="checkbox"/> North Arrow</li> <li><input checked="" type="checkbox"/> Frontage</li> <li><input checked="" type="checkbox"/> Depth</li> <li><input checked="" type="checkbox"/> Lot Area</li> <li><input checked="" type="checkbox"/> Lot Coverage</li> <li><input type="checkbox"/> Deemed Street Line</li> <li><input type="checkbox"/> Existing Front Yard Setbacks</li> <li><input type="checkbox"/> Existing Rear Yard Setbacks</li> <li><input type="checkbox"/> Existing Side Yard Setbacks</li> <li><input type="checkbox"/> Existing Street Side Yard Setbacks</li> <li><input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks</li> <li><input checked="" type="checkbox"/> Proposed Front Yard Setbacks</li> <li><input checked="" type="checkbox"/> Proposed Rear Yard Setbacks</li> <li><input checked="" type="checkbox"/> Proposed Side Yard Setbacks</li> <li><input type="checkbox"/> Proposed Street Side Yard Setbacks</li> <li><input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks</li> <li><input checked="" type="checkbox"/> Streets (Public and Private)</li> <li><input checked="" type="checkbox"/> Street Names</li> <li><input type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement)</li> <li><input type="checkbox"/> Railways (Location of them and setbacks to structures)</li> <li><input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc)</li> </ul>	

**Minor Variance Application Checklist**

Please add a check mark beside the items you have provided with your application.  
Illegible drawings or those missing required details will be returned to applicant.

**LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES**

- Setbacks
- Height
- Area
- Length
- Width

**ELEVATIONS**

- Metric
- Front
- Rear
- Side 1
- Side 2

**FLOOR PLANS**

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



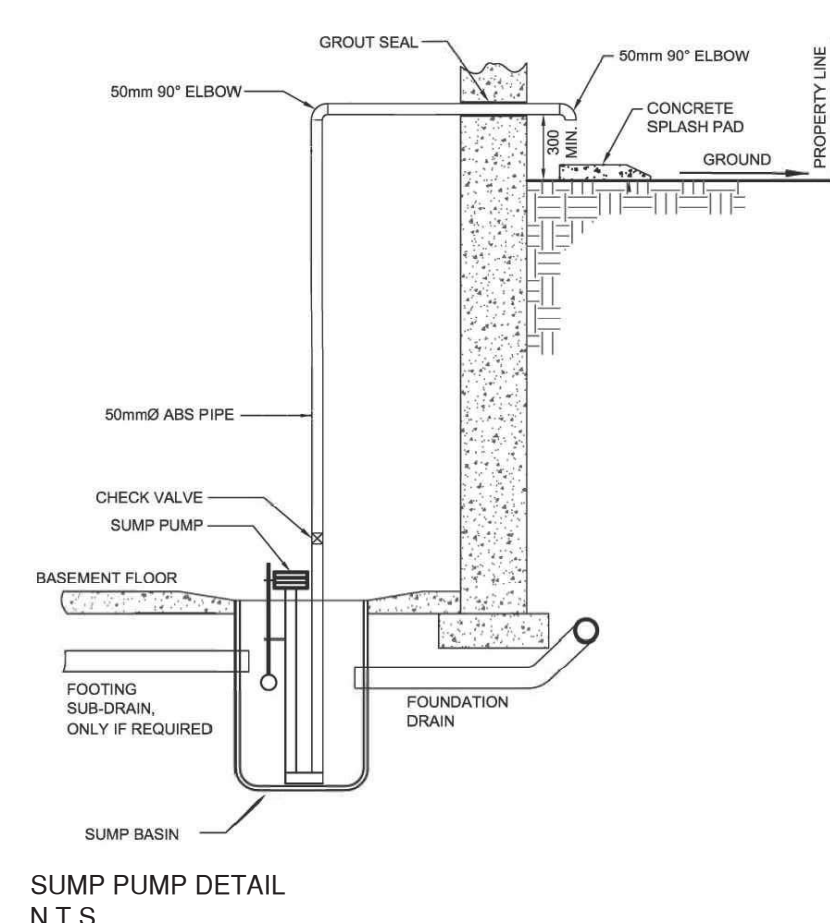
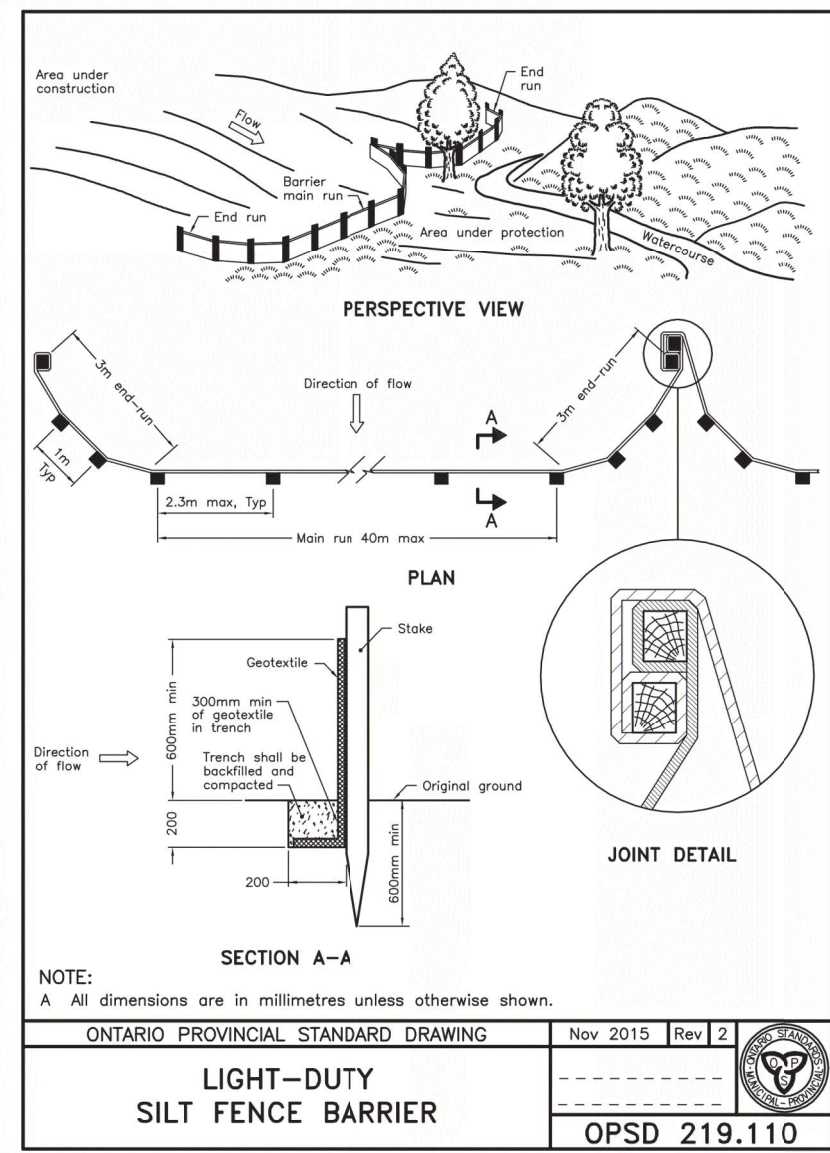
\_\_\_\_\_  
Signature of Owner/Agent

02/02/2026

\_\_\_\_\_  
Date (mmm/dd/yyyy)

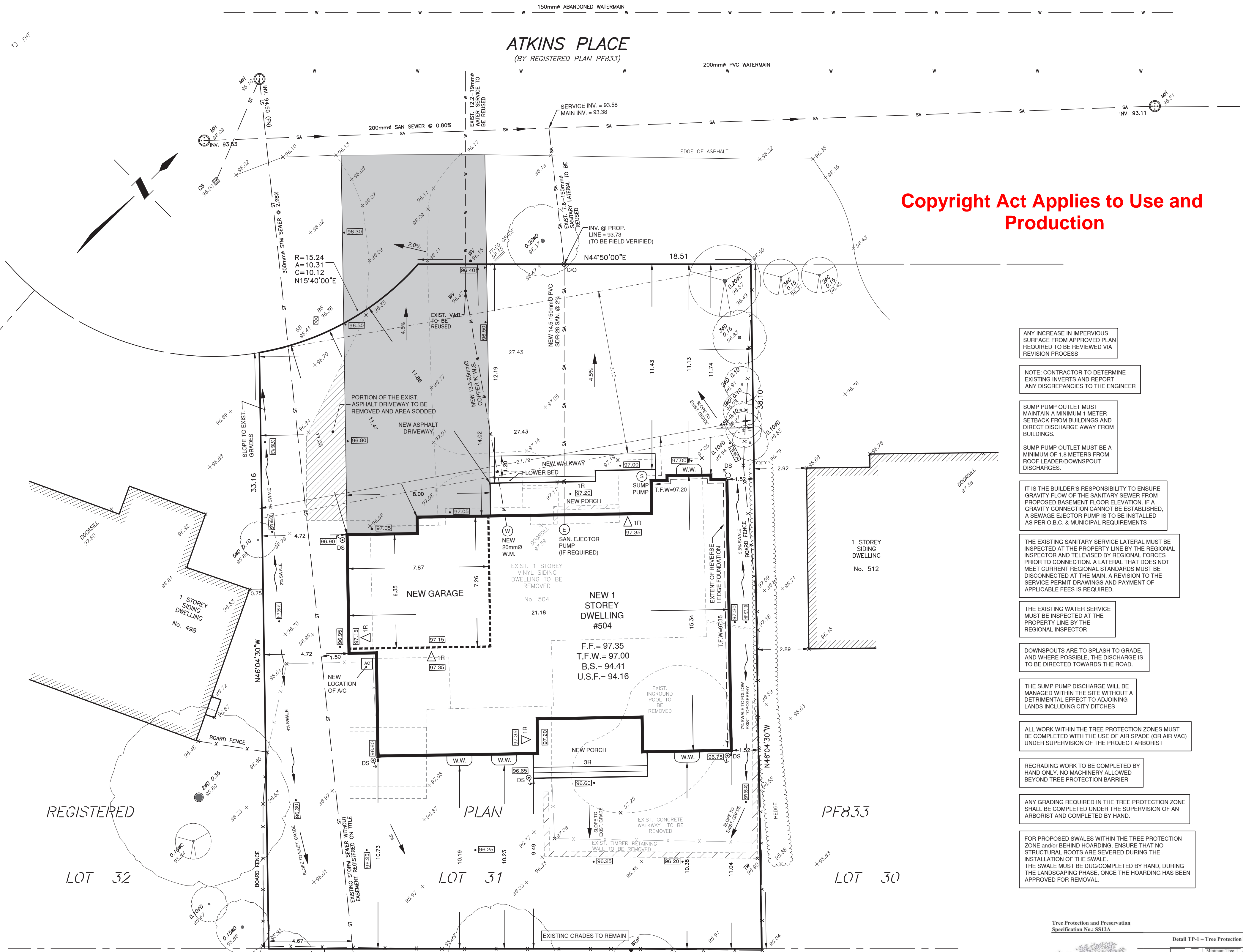
**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SITE STATISTICS	
ADDRESS:	504 ATKINS PLACE
ZONING:	R2.1
LOT AREA	1017.4 m <sup>2</sup>
LOT WIDTH	27.79 m
FIXED GRADE	96.15
HEIGHT TO ROOF PEAK	7.29 m
<b>AREA</b>	
GROUND FLOOR	211.54 m <sup>2</sup>
COVERED DECK/ENTRY	38.46 m <sup>2</sup>
GARAGE	53.98 m <sup>2</sup>
<b>LOT COVERAGE</b>	
DWELLING FOOTPRINT (INCL GARAGE)	265.6 m <sup>2</sup>
PORCHES	38.4 m <sup>2</sup>
<b>TOTAL LOT COVERAGE:</b>	<b>304 m<sup>2</sup></b>
	<b>29.9%</b>



**EROSION AND SILTATION NOTES**

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
  - A) WEEKLY
  - B) BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - C) FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - D) DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
  - E) AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
4. WHERE A SITE REQUIRES Dewatering AND WHERE THE EXPULSED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPULSED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECQ GUIDELINES. THE CLEAN EXPULSED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING, NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURELY FITTED WITH SILTATION CONTROL MEASURES FOR DRAINAGE DITCHES. THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
6. IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOECQ AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.



**GENERAL NOTES**

1. ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
2. THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILD.
3. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

**REGIONAL APPROVAL**

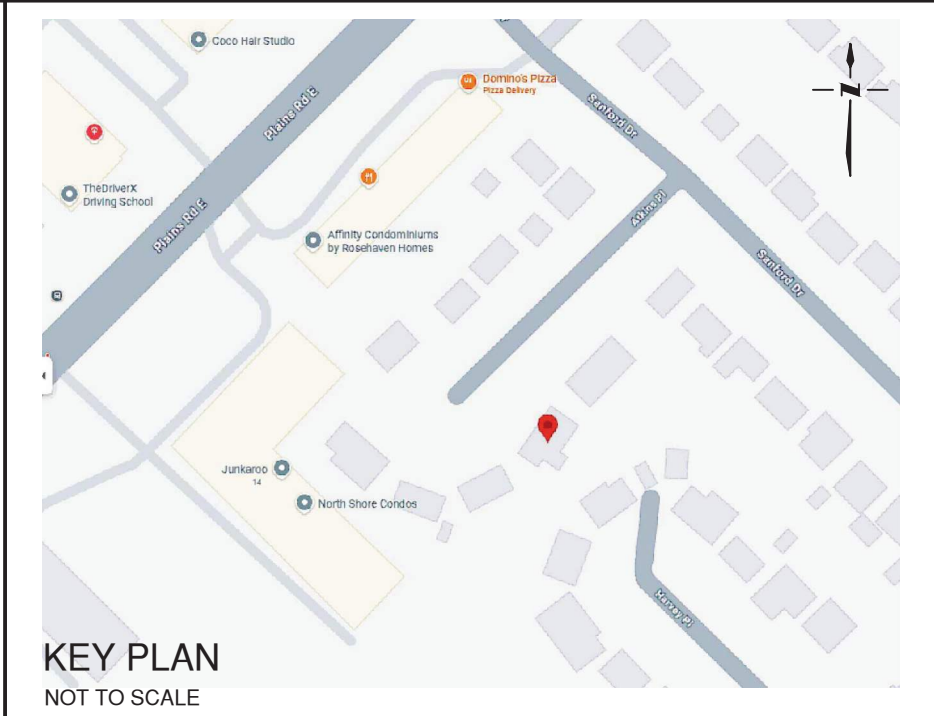
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCAL APPROVAL FROM AREA MUNICIPALITY.

DATED: \_\_\_\_\_ SIGNED: \_\_\_\_\_

THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTONS STANDARDS AND SPECIFICATIONS ARE MET. (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED ON HALTONA OR BY CALLING 311) ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTONS SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

**ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE.**

**Copyright Act Applies to Use and Production**



**LEGAL DESCRIPTION:**  
LOT 31  
REGISTERED PLAN PF833  
CITY OF BURLINGTON  
REGIONAL MUNICIPALITY OF HALTON  
SCALE 1 : 125

**SURVEY INFORMATION**  
SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED DECEMBER 18, 2024.

**ELEVATION NOTE**  
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF BURLINGTON BENCHMARK NO. 44, HAVING A PUBLISHED ELEVATION OF 98.754 METRES.

**UNDERGROUND SERVICES**  
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

**LEGEND**

CB	DENOTES	CATCH BASIN
FH	DENOTES	FIRE HYDRANT
MH	DENOTES	MANHOLE
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
Δ	DENOTES	ENTRY POINT AT LOWER LEVEL
Δ	DENOTES	ENTRY POINT AT GROUND FLOOR
Δ	DENOTES	EXISTING SPOT ELEVATION
Δ	DENOTES	PROPOSED SPOT ELEVATION
DS	DENOTES	PROPOSED RAINWATER DOWNSPOUT
AD	DENOTES	AREA DRAIN
○ 0.300	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
○ 0.300	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
○	DENOTES	TREE TO BE REMOVED
○	DENOTES	REPLACEMENT TREE
○	DENOTES	TREE PROTECTION ZONE
→	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
→	DENOTES	DIRECTION OF SWALE

**DO NOT SCALE DRAWINGS**

- 1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- 3) ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

NO.	DATE	DESCRIPTION
4	MAR. 17, 2026	SITE STATISTICS UPDATED
3	MAR. 11, 2026	SITE STATISTICS UPDATED
2	MAR. 09, 2026	SITE STATISTICS UPDATED
1	JAN. 28, 2026	REVISED AS PER ARCHITECT REQUEST

**CERTIFICATION FOR PROPOSED GRADING**

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 504 ATKINS PLACE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADIES AS SHOWN WILL PROTECT ADJACENT PROPERTY AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: MARCH 17, 2026  
MISSISSAUGA, ONTARIO  
BORYS KUBICKI, O.L.S. 1885

**APPLICANT/ OWNER**  
COLIN HALL  
276 SOUTHWIEW ROAD  
OAKVILLE, ON

**SHEET TITLE:**  
SITE GRADING & SERVICING PLAN

**PROJECT:**  
PROPOSED 1 STOREY DWELLING  
504 ATKINS PLACE, BURLINGTON

**TARASICK McMILLAN KUBICKI LIMITED**  
ONTARIO LAND SURVEYORS  
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2  
TEL: (905) 569-8849 FAX: (905) 569-3160  
E-MAIL: office@tmksurveyors.com

SCALE: 1:125  
DRAWN BY: F.B. FILE No. 10299-SP-2026-03-17

**GENERAL PLAN & DESIGN NOTES:**

ALL CONSTRUCTION & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE O.C.B.C. (ONTARIO BUILDING CODE 2024) DO NOT SCALE THESE DRAWINGS. ALL DIMENSIONS ARE IMPERIAL. ALL LUMBER TO BE #2 GRADE SPF / BETTER. ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING ALL CONSTRUCTION. CONTRACTOR OR CLIENT TO SITE VERIFY & CHECK DIMENSIONS OF ALL ROOF TRUSSES AT THE JOB SITE PRIOR TO ORDERING. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. THESE PLANS FROM THE BASIS OF THE PERMIT INSTALLED AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING, BUT NOT LIMITED TO STRUCTURE, GRADING, FINISH OPENINGS, EXTERIOR FINISHES, OVERALL SIZE, FINISHED BASEMENTS WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BLDG. DEPT. A DESIGNER. ANY INVOLVED PARTIES THAT PROCEED WITH PRIOR KNOWLEDGE OF DEVIATIONS, WITHOUT NOTIFYING DESIGNER, ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, COSTS. (I) ALL AUTHORIZED LEGAL COPIES OF DRAWINGS HAVE INDIVIDUAL ORIGINAL STAMPS IN RED. (II) ONLY DRAWINGS THAT HAVE THE SIGNED RED CIRCLE STAMP AND ARE ACCOMPANIED BY A MATCHING SIGNED SCHEDULE 1 FORM ARE TO BE USED FOR BUILDING PERMIT APPLICATIONS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Requires design in exempt under Div. C.3.2.1 of the building code.  
JASON SCHILSTRA  
NAME: JCS  
BCIN:

**REGISTRATION INFORMATION**  
Requires unless design in exempt under Div. C.3.2.2 of the building code.

RIJUS HOME DESIGN INC.  
FIRM NAME: 100572  
BCIN:

SIGNATURE



**RIJUS**  
Home Design Inc.  
SERVING ALL ONTARIO WITH  
DESIGNS FOR CUSTOM HOMES,  
ADDITIONS & GARAGES SINCE 1983  
PHONE: (905) 313-1111  
EMAIL: JASONSCHILSTRA@RIJUS.COM  
WWW.RIJUS.COM

**PROJECT INFORMATION:**

**HALL  
RESIDENCE**

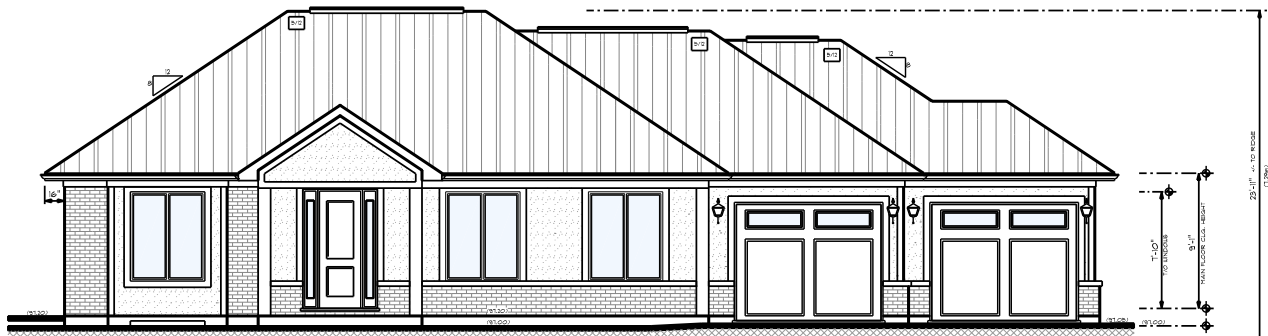
GENERAL INFO:  
SITE: 2319 BELLE BUNGLING CTR.  
LOCATION: 304 ATKINS PL. BURLINGTON  
FRONT DOOR FACES: NORTH-WEST  
ENERGY PACKAGE: ZONE 1, PRESCRIPTIVE (A)  
BUILDER: N/A

DATE: NOV 2025 SCALE: NOTED

PROJECT NUMBER: RJF-2025-619

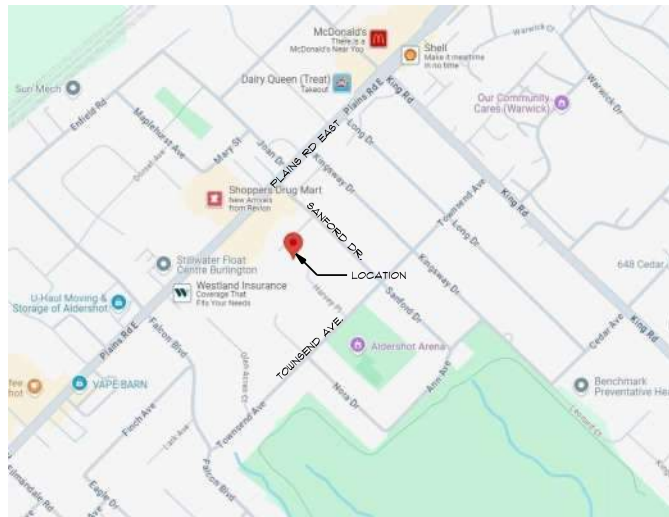
PAGE TITLE: FRONT & LEFT ELEVATIONS

PAGE NUMBER: 1 OF 6

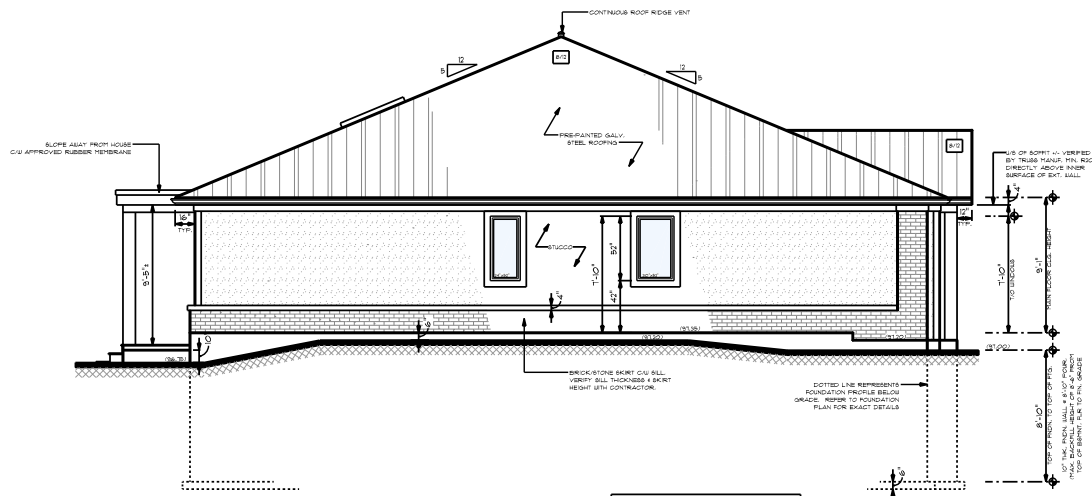


**FRONT ELEVATION (NORTH-WEST)**

SCALE: 1/4" = 1'-0"



**LOCATION:**



**LEFT ELEVATION (NORTH-EAST)**

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION:  
AREA OF EXPOSED BUILDING FACE: 13081 SQ.FT.  
AREA OF ALLOWED GLAZED OPENING: 763 SQ.FT.  
AREA OF ACTUAL GLAZED OPENING: 179 SQ.FT.

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ALL GRADES HEIGHTS TO MATCH GRADING DESIGN  
BY TARABICK MCMILLAN KUBICKI LIMITED.  
10299-8P-2026-01-28







**COPYRIGHT 2025 - RIJUS HOME DESIGN INC.**  
PLEASE READ ALL PAGES PRIOR TO STARTING CONSTRUCTION

**GENERAL PLAN & DESIGN NOTES:**  
ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.I.C. (CANADIAN BUILDING CODE 2024). DO NOT SCALE THESE DRAWINGS. ALL DIMENSIONS ARE IMPERIAL. ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING ALL CONSTRUCTION. CONTRACTOR OR CLIENT TO SITE VERIFY & CHECK DIMENSIONS OF ALL ROOF TRUSSES AT THE JOINTS PRIOR TO ORDERING. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONSTRUCTION. THESE PLANS FORM THE BASIS OF THE PERMIT APPLICATION AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING, BUT NOT LIMITED TO, STRUCTURE, GRADING, FINISH, OPENINGS, EXTERIOR FINISHES, OVERALL SIZE, FINISHED FLOORINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY INVOLVED PARTIES THAT PROCEED WITH WORK WITHOUT THE NECESSARY KNOWLEDGE OF DEVIATIONS, WITHOUT NOTIFYING DESIGNER, ASSUME FULL RESPONSIBILITY FOR ALL LIABILITY COSTS. ALL AUTHORIZED LEGAL COPIES OF DRAWINGS HAVE INDIVIDUAL ORIGINAL STAMPS IN RED.  
THE UNDERSIGNED HAS REVIEWED AND APPROVED FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEANS TO DESIGN THE REQUIREMENTS SET OUT IN THE Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Registered design engineer under the C.I.C. 2.2.1 of the building code  
JASON SCHLEISER 3738 BCIN

**REGISTRATION INFORMATION**  
Registered under design in charge under Div. C.1.2.2 of the building code  
RIJUS HOME DESIGN INC. 100572 BCIN

**SIGNATURE**  
[Signature of Jason Schleiser]

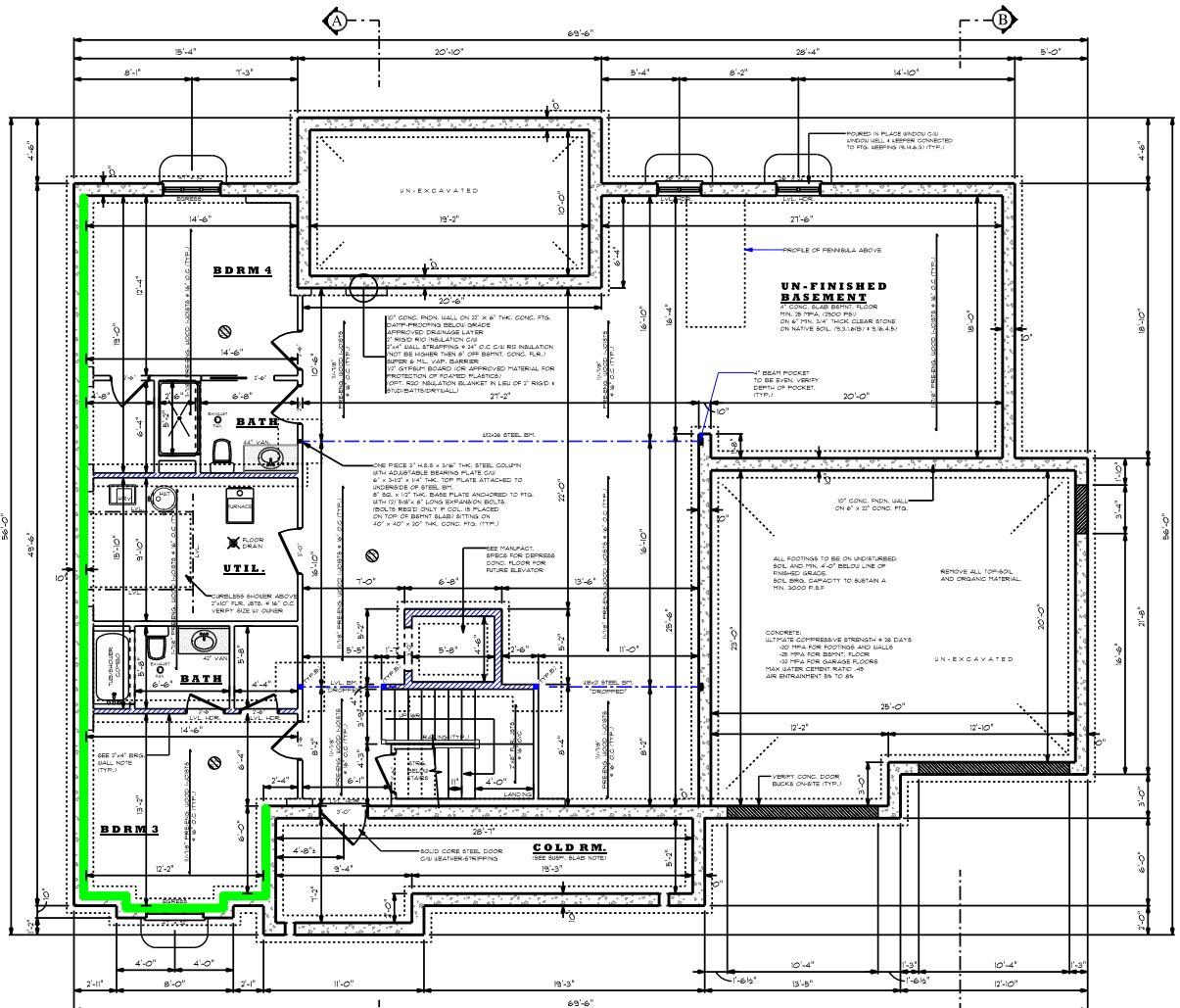
**PROJECT INFORMATION:**  
**HALL REDUCE**  
GENERAL INFO:  
1221 2300 BURNHAM DR  
LOCATION: 501 ATKINS PL. BELLINGHAM  
FRONT FOOT FACES: NORTHWEST  
ENJOY PACKAGE: ZONE 1, PRESCRIPTIVE (A)  
BUILDER: N/A

**DATE:** NOV 2025 **SCALE:** NOTED

**PAGE NUMBER:** R/JF - 2025 - 619

**PAGE TITLE:** FOUNDATION PLAN & RADON DETAIL

**PAGE NUMBER:** 3 OF 6



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**FOUNDATION PLAN SPECIFICATIONS:**  
**FOUNDATIONS:**  
ALL FOUNDATION WALLS SHALL BE CONCRETE ON GRAVEL. ALL FOUNDATION WALLS SHALL BE 16" MIN. THICK. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 18" ON CENTER. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL FOUNDATION WALLS SHALL BE PAINTED WITH RADON RESISTANT PAINT. ALL FOUNDATION WALLS SHALL BE SEaled WITH FLEXIBLE SEALANT (POLYURETHANE CAULKING) AT THE PERIMETER AND AT ALL PENETRATIONS. ALL FLOOR DRAINS ARE TO BE SEALED TO PREVENT THE UPWARD FLOW OF SOIL GAS WITHOUT PREVENTING DOWNWARD FLOW OF WATER USING A SELF SEALING SELF PRIMING TRAP.

**FLOOR FINISHES:**  
ALL FLOOR FINISHES SHALL BE 1/2" GYPSUM BOARD. ALL FLOOR FINISHES SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL FLOOR FINISHES SHALL BE PAINTED WITH RADON RESISTANT PAINT.

**WALL FINISHES:**  
ALL WALL FINISHES SHALL BE 1/2" GYPSUM BOARD. ALL WALL FINISHES SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL WALL FINISHES SHALL BE PAINTED WITH RADON RESISTANT PAINT.

**CEILING FINISHES:**  
ALL CEILING FINISHES SHALL BE 1/2" GYPSUM BOARD. ALL CEILING FINISHES SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL CEILING FINISHES SHALL BE PAINTED WITH RADON RESISTANT PAINT.

**MECHANICAL SYSTEMS:**  
ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL MECHANICAL ENERGY CODE (NMEC). ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL MECHANICAL ENERGY CODE (NMEC).

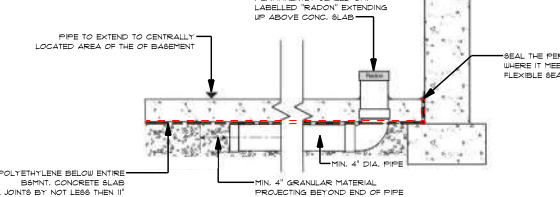
**ELECTRICAL SYSTEMS:**  
ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE (CEC). ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE (CEC).

**PLUMBING SYSTEMS:**  
ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE (CPC). ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE (CPC).

**GENERAL NOTES:**  
ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE (NBC). ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE (NBC).

**TELEPORT NOTE:**  
ONE PIECE 3" H.E.S.B. x 3/4" THK. STEEL COLUMN WITH ADJUSTABLE BEARING PLATE ON 8" x 8" x 1/4" THK. TOP PLATE ATTACHED TO UNDERSIDE OF STEEL BEAM. 8" x 8" x 1/4" THK. BASE PLATE ANCHORED TO FTS WITH 1/2" DIA. x 1/2" LONG EXPANSION BOLTS. BOLTS TO BE ONLY 1" FROM E.B. PLACED ON TOP OF BEAM SLAB SITTING ON 40" x 40" x 20" THK. CONG. PIS (FTF).

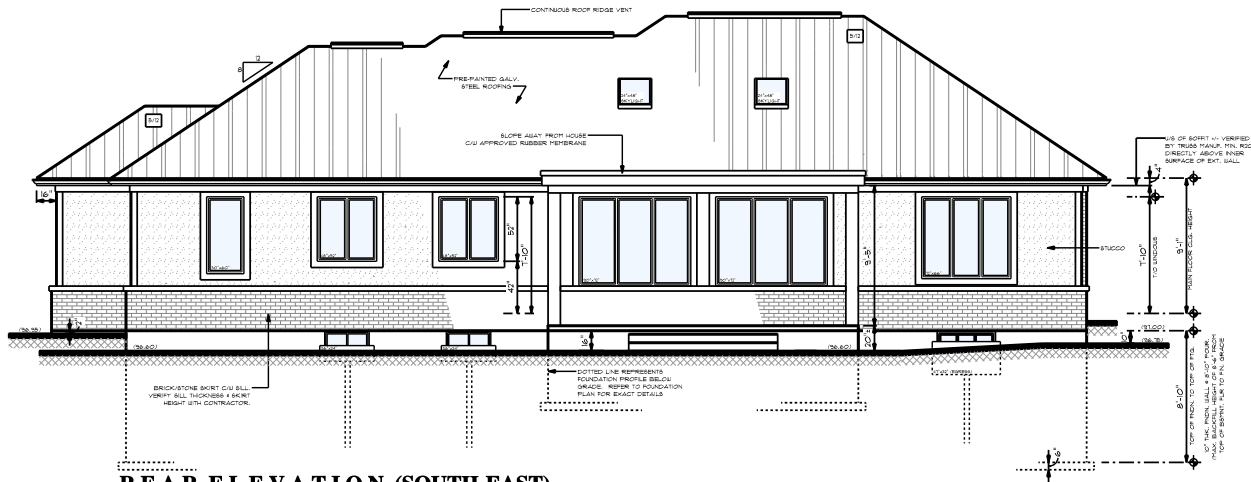
**POST NOTE:**  
4"x4" BUILT UP WOOD POST SITTING ON 12" x 12" x 1/4" THK. CONG. PIS. WOOD POST TO BE SEPARATED FROM CONTACT WITH FOOTING USING SUPPORTING MATERIAL.



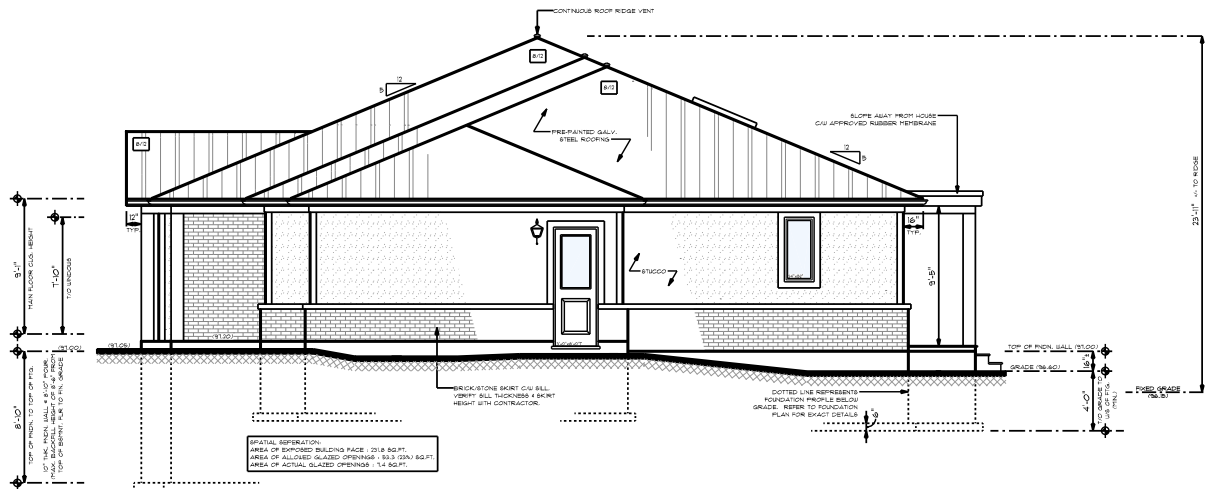
**RADON MITIGATION METHOD: (DEPRESSURIZATION SYSTEM)**  
SEAL THE PERIMETER OF THE BASEMENT SLAB WHERE IT MEETS THE FOUNDATION WITH FLEXIBLE SEALANT (POLYURETHANE CAULKING) AS WELL AS ANY SLAB PENETRATIONS. IF USING HOLLOW METAL COLUINGS THEY ARE TO BE SEALED BOTH AT THE PERIMETER AND IN THE CENTRE. ALL FLOOR DRAINS ARE TO BE SEALED TO PREVENT THE UPWARD FLOW OF SOIL GAS WITHOUT PREVENTING DOWNWARD FLOW OF WATER USING A SELF SEALING SELF PRIMING TRAP.

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ALL GRADES HEIGHTS TO MATCH GRADING DESIGN BY TARASICK MCHILLAN KUBICKI LIMITED. 10298-8F-2026-0128



**REAR ELEVATION (SOUTH-EAST)**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION (SOUTH-WEST)**  
SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION SPECIFICATIONS:**
1. ALL EXTERIOR FINISHES SHALL FOLLOW MANUFACTURER'S APPLICATIONS & MANUFACTURERS TO BE COMPLETED BY HOMEOWNER.
  2. BUILDING / OWNER / SUPPLIER TO CONTACT ALL WINDOW & DOOR SIZES & ROOMS PRIOR TO ORDERING. WINDOW GRILLS PATTERNS (MOUNTING BARS) MAY VARY BASED ON WINDOW SUPPLIER. CONTRACTOR TO VERIFY.
  3. DECORATIVE FINISH & FINISHING TO BE VERIFIED BY CONTRACTOR.
  4. ALL BUFFERS & DOWNROPS PURPOSES ONLY. CHECK FOR CLARITY.
  5. CONTRACTOR TO VERIFY ALL EXISTING AND PROPOSED FINISHES GRABES ON SITE. IF AN APPROVED GRADING PLAN IS PRESENT, GRABES TO MATCH SAID PLAN. FINISHED GRADE MUST SLOPE AWAY FROM HOUSE.
  6. PROVIDE ICE WATER SHIELD LAYER OVER ROOFS SHIPPED 3/8" AND LESS. ALL ROOF FINISHES LESS THAN 4/8" TO HAVE "LOW SLOPE" APPLICATION SHINGLES (CBC 5.36.47).
  7. ALL COVERINGS TO BE AS STATED UNLESS OTHERWISE NOTED: ROOF COVERINGS: 14"
  8. FLASHINGS AT INTERSECTION BETWEEN ROOFS WHERE THEY MEET SHALL AS PER (CBC 5.36.47).
  9. ALL STEP FINS AS REQUIRED TO MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION. MIN. HOLES MIN. 25-30" FROM VERTICAL FACE. CLEARLY CONTRACTOR TO VERIFY LOCATION OF ALL STEP FINS AND THEIR HEIGHTS ON SITE (CBC 5.36.33).
  10. MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION FOR ALL FOOTINGS. VERIFY WITH GEOTECHNICAL AREA. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR NATIVE ROCK.
  11. WINDOW SILLS TO BE REQUIRED DUE TO FINAL GRADE. ALL SILLERS IN WINDOW SILLS TO BE CONCRETE OF 2" FILL BEHIND AND FILLED WITH 3/4" CLEAR STONE. WINDOW SILL TO BE CALIBRATED CONCRETE. TYPICAL DETAIL TO MATCH WALL.
  12. ALL DECK PORCHES LANDING DOOR THRESHOLDS THAT HAVE A WALKING SURFACE MORE THAN 20" BUT LESS THAN 24" ABOVE FINISHED GRADE REQUIRE 2" HIGH GUARD. WALKING SURFACES MORE THAN 24" ABOVE FINISHED GRADE REQUIRE 4" HIGH GUARD. ALL GUARDS TO COMPLY TO S61.1

ALL GRADES HEIGHTS TO MATCH GRADING DESIGN BY TARASICK MC MILLAN KUBICKI LIMITED.  
10299-8P-2026-01-28

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**GENERAL PLAN & DESIGN NOTES:**

ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.I.C. (ONTARIO BUILDING CODE 1994) DO NOT SCALE THESE DRAWINGS. ALL DIMENSIONS ARE IMPERIAL. ALL LUMBER TO BE #2 GRADE SPF / BETTER. ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING ALL CONSTRUCTION. CONTRACTOR OR CLIENT TO SITE VERIFY A CHECK DIMENSIONS OF ALL ROOF TRUSSES AT THE JOB SITE PRIOR TO ORDERING. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. THESE PLANS FORM THE BASIS OF THE PERMIT INSTALLED AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING, BUT NOT LIMITED TO STRUCTURE, GRADING, FINISHES, OPENINGS, EXTERIOR FINISHES, OVERALL SIZE, FINISHED BASEMENTS WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BLDG. DEPT. & DESIGNER. ANY INVOLVED PARTIES THAT PROCEED WITH PRIOR KNOWLEDGE OF DEVIATIONS, WITHOUT NOTIFYING DESIGNER, ASSUME FULL RESPONSIBILITY FOR ALL LIABILITY COSTS. IN ALL AUTHORIZED LEGAL COPIES OF DRAWINGS HAVE INDIVIDUAL ORIGINAL STAMPS IN RED. ONLY DRAWINGS THAT HAVE THE SIGNED RED CIRCLE STAMP AND ARE ACCOMPANIED BY A MATCHING SIGNED RED CIRCLE STAMP FORM ARE TO BE USED FOR BUILDING PERMIT APPLICATIONS.

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Registered design professional under Div. C.3.2.1 of the building code  
JASON SCHILSTRA 3758 BCIN

**REGISTRATION INFORMATION**  
Registered under design in exempt under Div. C.3.2.2 of the building code  
RIJUS HOME DESIGN INC. 100572 BCIN

**SIGNATURE**



**RIJUS Home Design Inc.**  
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**PROJECT INFORMATION:**

**HALL REDUCE**

GENERAL INFO:  
REF: 2319-0171-BUNALON  
LOCATION: 501 ARKIN PL. BURLINGTON  
FRONT PORCH FACES: NORTHWEST  
ENERGY PACKAGE: ZONE 1, PRESCRIPTIVE (A1)  
BUILDER NO.:

DATE: NOV 2025 SCALE: NOTED

PROJECT NUMBER: RIF-2025-619

PAGE TITLE: REAR & RIGHT ELEVATIONS

PAGE NUMBER: 2 OF 6