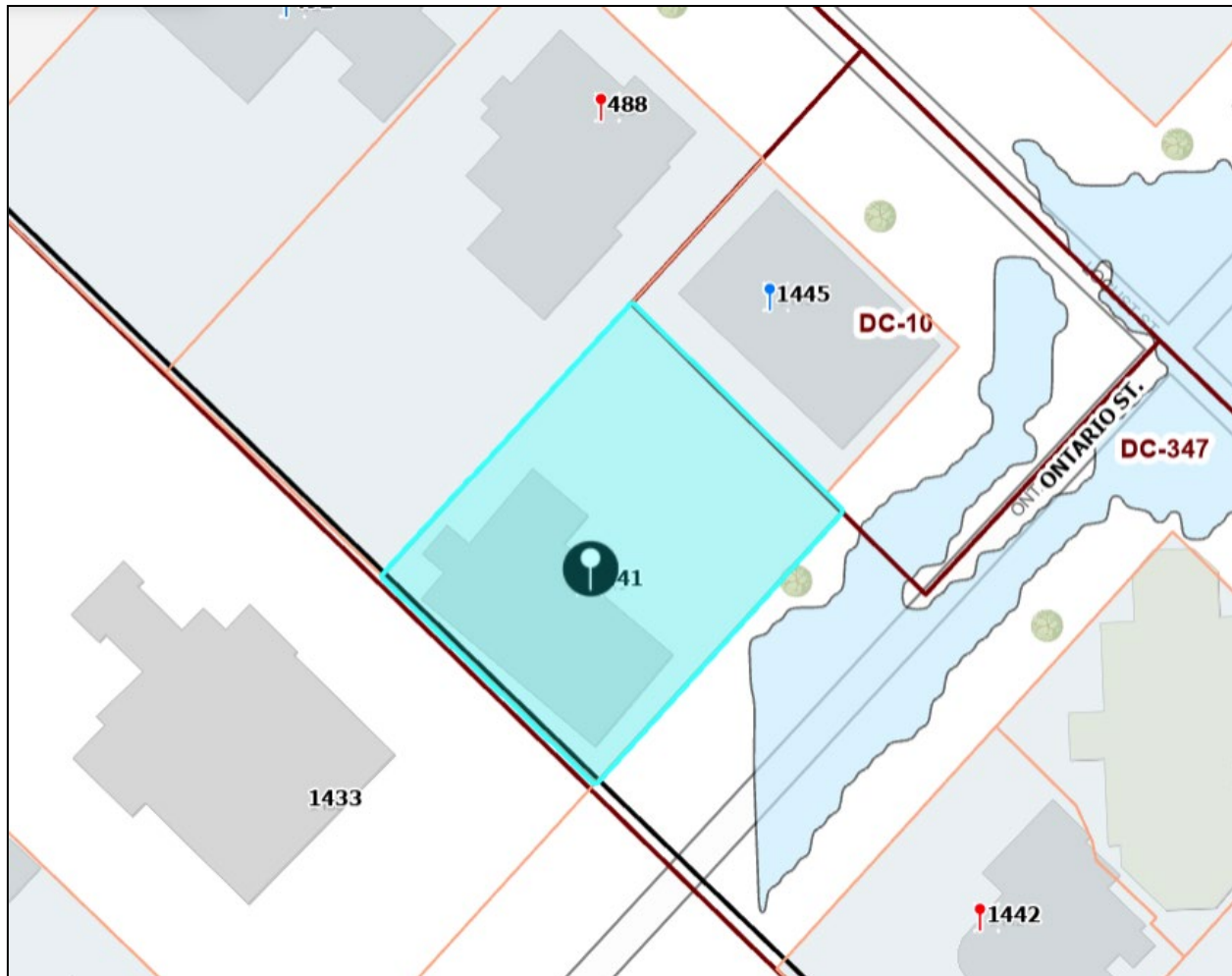


**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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Owner(s): 1001071524 Ontario Inc
Address: 1441 Ontario St, Burlington
File No. **A-008/26**
Ward: 2



Staff Comments:

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: January 26, 2026

Prepared By: E. Shacklette

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Zoning

The subject property is zoned DC-347, under Zoning By-Law 2020, as amended. The DC-347 zone requires, among other things, the following:

Exception 347	Zone DC	Map 9-A	Amendment 2020.205	Enacted Apr 8/08
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1. Permitted uses: Detached Dwelling
Offices
Other Service Commercial Uses
2. Regulations:
All permitted uses are subject to R3.2 zone regulations and the following additional regulations:

Landscape buffer abutting a DRL or residential zone: 3 m

50% of the area of the front yard and street side yard shall be landscaped, including a 3 m landscape area abutting a street.

On lands abutting a residential or DRL zone fencing shall be installed along the common boundary with the residential or DRL zone and shall have a minimum height of 1.8 m, which may be a solid screen fence or a combination of chain-link fence and landscape planting to form a dense screen.

4. R1, R2, R3 ZONE REGULATIONS

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

- (b) Without attached garage or carport:
- (i) **One or one and a half storey side:** 1.2 m, 3 m other side
 - (ii) Two or more storey side: 1.8 m, 3 m other side

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Proposal:

The applicant is proposing alterations to an existing building for a proposed medical office use (Registered Massage Therapy and Physiotherapy). The proposal was previously approved through Zoning Clearance Certificate 2025 002099 000 00 ZC for interior alterations to establish the medical office use within the existing building.

During the renovation process, a wall was identified as requiring re-construction and was proposed to infill a previously recessed area, so the wall was one continuous wall. The new wall will reduce the minimum rear yard to 2.4m and a portion of the wall adjacent to the west side yard will reduce the yard to 1.1m.

The existing building previously contained office uses. Through review of Google Streetview, office uses have existed for many years, however Zoning staff are not able to obtain evidence to confirm the use was legally established prior to the regulations outlined in Exception 347 enacted under By-Law 2020.205. In addition to yard reductions created by the new proposed wall, further variances are required to bring the site into compliance.

Variances are required for a reduced rear yard, a reduced west side yard, and to remove the requirement for a landscape buffer and fencing abutting the DRL zone to reflect the current site conditions.

Variances required:

1. To permit a rear yard of 2.4m instead of the minimum required 9m for additions and alterations to an existing building.
2. To permit a west side yard of 1.1m instead of the minimum required 1.2 m for additions and alterations to an existing building.
3. To permit a 0m landscape buffer abutting the DRL zone instead of the minimum required 3m landscape buffer.
4. Notwithstanding Exception 347, to eliminate the requirement for a fence to be installed along the common boundary with the DRL zone (west side lot line) with minimum height of 1.8m, which may be a solid screen fence or a combination of chain-link fencing and landscape planting to form a dense screen.

Condition:

1. A Zoning Clearance Certificate Application is required

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Notes:

1. The application is reviewed under section 45(1) of The Planning Act.
2. The zoning review is based on the portion of the site affected by the proposed development only.
3. The property is located in the downtown parking exemption area and therefore does not require parking for the non-residential use.

Date: March 6, 2026Prepared By: Nathan Dart, CPT**Heritage Planning****Background and Development Concept**

The subject property, 1441 Ontario Street, is comprised of an existing single storey commercial office. The property (the William Hodgson-Sarah Oakley House) is listed on the Municipal Heritage Register as a non-designated property. The subject Minor Variance application proposes:

- Alterations to an existing building for a proposed medical office use (Registered Massage Therapy and Physiotherapy).
- During the previously approved renovation process, a wall was identified as requiring re-construction and was proposed to infill a previously recessed area, so the wall was one continuous wall. The new wall will reduce the minimum rear yard to 2.4m and a portion of the wall adjacent to the west side yard will reduce the yard to 1.1m.

For provincial and municipal cultural heritage policies, see Appendix "A" – Provincial and Municipal Cultural Heritage Policies.

Archaeology

No comments.

Built Heritage Resources and Cultural Heritage Landscapes

As noted, the William Hodgson-Sarah Oakley House is listed on the Municipal Heritage Register as a non-designated property. As per the LACAC Inventory Sheet on the property, according to Gerarda Tino, the structure was first constructed on the Brant Street site of the old town hall and library (which was built in 1906) and was moved to the existing lot in 1874 for William Hodgson. According to Stanley Blair, it was rebuilt by George Blair. It is said to be very old, perhaps built in the 1830s.

This one-storey frame cottage with later additions is clad with replacement wood

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shingle cladding. There are several multi-paned, wood sash arched head windows with replacement board shutters. A replacement door at the side has a replacement gabled hood on plain wooden brackets.

Staff Comments and Requirements

Staff have reviewed the submission materials. The location of the wall that was identified as requiring re-construction and that was proposed to infill a previously recessed area appears to be with a later addition to the frame cottage portion of the structure. As such, a Heritage Permit application and Heritage Impact Statement are not required. Staff request confirmation of the date of the addition and that it be documented through photographs.

Heritage Planning staff have no further comments on the submission materials at this time.

(CR 2026-02-04)

Appendix “A” – Provincial and Municipal Cultural Heritage Policies

Provincial Planning Statement, 2024

The *Provincial Planning Statement, 2024* (PPS, 2024) contains policies on Cultural Heritage and Archaeology in Section 4.6, including the following policy:

- 4.6.4 Planning authorities are encouraged to develop and implement:
 - a) archaeological management plans for conserving archaeological resources; and
 - b) proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.

The *PPS, 2024* contains the following relevant definitions:

- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community.
- **Conserved:** means the identification, protection, management and use of *built heritage resources, cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments.

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- **Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the *Planning Act*, but does not include:
 - a) activities that create or maintain *infrastructure* authorized under an environmental assessment process or identified in provincial standards; or
 - b) works subject to the *Drainage Act*; or
 - c) for the purposes of policy 4.1.4.a), underground or surface mining of *minerals* or advanced exploration on mining lands in *significant areas of mineral potential* in Ecoregion 5E, where advanced exploration has the same meaning as under the *Mining Act*. Instead, those matters shall be subject to policy 4.1.5.a).

Halton Region Official Plan

The *Halton Region Official Plan* contains policies on Cultural Heritage Resources in Part IV, Healthy Communities Policies, including the following policy:

- 167 (1) Maintain, in conjunction with the Local Municipalities, local historical organizations,
and municipal heritage committees a list of documented *Cultural Heritage Resources* in *Halton*.

The following relevant definitions are contained in the *Halton Region Official Plan*:

- **Cultural heritage resources:** means elements of the Regional landscape which, by themselves, or together with the associated environment, are unique or representative of past human activities or events. Such elements may include *built heritage resources*, *cultural heritage landscapes*, and *archaeological resources*.
- **Development:** means the creation of a new *lot*, a change in land use, or the construction of buildings and structures, any of which requires approval under the *Planning Act*, or that are subject to the *Environmental Assessment Act*, but does not include:
 - (1) activities that create or maintain infrastructure authorized under an environmental assessment process,
 - (2) works subject to the *Drainage Act*, or
 - (3) within the Greenbelt Plan Area, the carrying out of agricultural practices on land that was being used for *agricultural uses* on the date the Greenbelt Plan 2005 came into effect.

City of Burlington Official Plan, 1997

The City's *Official Plan, 1997* contains policies on Cultural Heritage Resources in Section 8.0, including the following objectives and policies:

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-
- 8.3.3 a) An inventory of buildings, structures and *cultural heritage landscapes* designated under The Ontario Heritage Act or worthy of designation, and buildings, structures and *cultural heritage landscapes* of architectural, historical and contextual interest *shall* be maintained in consultation with the municipal heritage committee (Heritage Burlington).
 - 8.3.3 d) The City shall encourage, where appropriate, the adaptive re-use of a built heritage resource in a manner that is not destructive to the character-defining elements of the resource.
 - 8.4.1 a) All *development shall* consider *cultural heritage resources* and wherever feasible, incorporate these resources into any *development* plans in a way that conserves the character-defining elements of the *cultural heritage resource*.

The following relevant definitions are contained in the *City of Burlington Official Plan, 1997*:

- **Built Heritage Resources:** One or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political, economic or military history and identified as being important to a community. These resources *may* be identified through designation or heritage conservation easement under The Ontario Heritage Act, or listed by local, provincial or federal jurisdictions.
- **Conservation or Conserve:** The identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under The Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/ or cultural heritage impact assessment or cultural heritage landscape impact assessment. Mitigative measures and/or alternative *development* approaches can be included in these plans and assessments.
- **Cultural Heritage Resource:** A building, structure, monument, natural feature (including those that have been modified by humans, such as parks, gardens, rows of trees, etc.), an archaeological and historical site, or remains, either individually or in groups, which is considered to be of architectural and/or historical significance.
- **Development:** (1) The creation of a new *lot*; (2) the making of an addition or alteration to a building or structure; (3) the construction, erection or placing of a building or structure; or (4) the change in use or intensity of use of any building, structure or premises, requiring approval under The Planning Act, but does not include: (1) activities that create or maintain infrastructure authorized under an environmental assessment process; (2) works subject to

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The Drainage Act; or (3) for the purposes of Section 41 of The Planning Act, the placement of a portable classroom on a school site of a district school board if the school site was in existence on January 1, 2007.

City of Burlington Official Plan, 2020

The City's *Official Plan, 2020* contains policies on Cultural Heritage Resources in Section 3.5, including the following objectives and policies:

- 3.5.2(1) e) *Cultural heritage resources shall be protected and conserved*, in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada and other recognized heritage protocols and standards.
- 3.5.2(1) f) The *City shall* use criteria established by Provincial regulation under The Ontario Heritage Act for determining cultural heritage value or interest and for identifying and evaluating properties for listing on the Municipal Register and for designation under The Ontario Heritage Act. The *City may* further refine these criteria and provide guidelines for their use.
- 3.5.2(3) b) The Municipal Register *shall* contain all properties designated under The Ontario Heritage Act and *may* contain properties that are believed to be of cultural heritage value or interest to the *City* or a community, in accordance with The Ontario Heritage Act. To ensure effective protection and to maintain its currency, the Municipal Register will be updated regularly and be accessible to the public.
- 3.5.2(3) e) The *City will encourage*, where appropriate, the adaptive re-use of a *built heritage resource* in a manner that is not destructive to the *heritage attributes* of the resource.
- 3.5.2(5) a) All *development shall consider cultural heritage resources* and, wherever feasible, incorporate these resources into any *development* plans in a way that *conserves the heritage attributes* of the *cultural heritage resource*.

The following relevant definitions are contained in the City's *Official Plan, 2020*:

- **Built Heritage Resource:** A building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of The Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.

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- **Conservation or Conserved:** The identification, protection, management and use of *built heritage resources, cultural heritage landscapes and archaeological resources* in a manner that ensures their cultural heritage value or interest is retained under The Ontario Heritage Act. This *may* be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/ or cultural heritage impact assessment or *cultural heritage landscape* impact assessment. Mitigative measures and/or alternative *development* approaches can be included in these plans and assessments.
- **Cultural Heritage Resources:** *Built heritage resources, cultural heritage landscapes and archaeological resources* that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some *cultural heritage resources* may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.
- **Development:** The creation of a new *lot*, a change in land use, or the construction of buildings and structures requiring approval under The Planning Act, but does not include:
 1. activities that create or maintain infrastructure authorized under an environmental assessment process; or
 2. works subject to The Drainage Act.
- **May:** There is discretion and flexibility or that criteria are to be satisfied in the application of an Official Plan policy.
- **Shall:** The policy is mandatory or it is required to comply with an Official Plan policy.

Site Planning

Site Characteristics	
Lot Frontage (m)	25.15 m
Lot Area (m²)	509.56 m ² (approx..)
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Registered Massage Therapy and Physiotherapy in an existing residential building converted to commercial/office use
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Flat and level
Notable Site Features	William Hodgson-Sarah Oakley House (subject building) is listed on the Municipal Heritage Register as a non-designated property
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Commercial uses at 1433 and 1457 Ontario Street, residential across the street

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Nearest Major Intersection	Ontario Street and Locust Street
Neighbourhood Boundaries*	North: Victoria Avenue, Baldwin Street East: Martha Street South: Lake Ontario West: Locust Street, Blathwayte Lane, Burlington Avenue
<small>*Based on OP, 1997 <i>residential neighbourhood</i> definition</small>	

Neighbourhood Characteristics:

- The immediate neighbourhood is characterized primarily by low-rise dwellings and institutional buildings, generally 1.5 to 3 storeys, with pitched gables, hip, and dormer roof forms that create a traditional built character.
- Buildings exhibit varied but generally limited front and side yard setbacks, producing a compact urban pattern while still allowing for porches, walkways, and landscaped front yards.
- Some properties in the neighbourhood have limited side yard setbacks, with several buildings positioned closer to one side lot line and others having somewhat wider separations. The pattern is therefore not consistent, but it reflects a relatively compact urban fabric with reduced side yard conditions on nearby lots.
- Rear yard depths also appear to vary considerably depending on lot shape, building placement, and access arrangements. Some lots appear to have deeper rear yard areas, while others are more constrained due to building placement, parking, or laneway/access relationships.
- Massing and bulk at the street level are relatively small-scale with older buildings having smaller footprints, varied façades, and pitched roofs that reduce perceived scale.
- The area includes a mix of soft landscaping, hedges, lawns, foundation planting, and mature trees, with fencing generally limited to low decorative or rear/side yard fencing.
- While the immediate context remains predominantly low-rise and heritage (1445 Ontario St.) residential/commercial in designation and form, the broader area includes mid-rise and tall buildings, indicating a neighbourhood context undergoing urban intensification.

A site visit was conducted on March 27, 2026, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

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The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- The subject lands are located within the Urban Area as identified on Map 1, where urban development is directed to occur in accordance with local Official Plans and Zoning By-laws.
- The proposal does not alter the applicable regional land use designations and will be implemented through local planning approvals, consistent with the ROP's policy framework directing development to Urban Areas and Strategic Growth Areas (Urban Growth Centres, MTSAs, Primary Regional Nodes, Secondary Regional Nodes, and Regional Intensification Corridors).
- The subject lands are located within the Downtown Urban Centre, Burlington, identified as a Secondary Regional Node on Map 1H pursuant to Section 82.1(2)(e) of the Halton Regional Plan. In this regard, Section 82.2(1) provides that development with higher densities and mixed uses is to be directed to Regional Nodes in accordance with the hierarchy of the Plan and the level of existing and planned transit service.

Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal/variance meets the general intent and purpose of the Official Plan for the following reasons:

- The proposed uses are consistent with the property's 'Mixed Use Centre' land use designation under Schedule 'B' (Comprehensive Land Use Plan – Urban Planning Area) and 'Downtown Core Precinct' land use designation under Schedule 'E' (Downtown Mixed Use Centre – Land Use Plan) of the BOP, 1997 as amended, which permits office and related service commercial uses. The proposal represents the continued use of the existing building for office-type purposes, with only minor exterior alterations to regularize the building wall and does not change the general function or character of the site.
- Whereas Part III, Section 5.5 of the BOP, 1997 provides policies for the Downtown Mixed Use Centre, and whereas Section 5.5.8 establishes specific objectives and policies for the Downtown Core Precinct, including permitting commercial activities ranging from local service and retail uses to office and administration uses, requiring a high standard of design, and ensuring compatibility with surrounding development, the proposal is consistent with these objectives in the following ways:

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- The proposal facilitates a new medical office use within an existing building and therefore maintains the office and service commercial function permitted within the Downtown Core Precinct.
 - The requested rear yard and west side yard variances relate only to the reconstruction of a limited portion of a wall at the rear of the building in order to infill a previously recessed area and create one continuous wall, rather than to a broader expansion of the building.
 - The variances related to the absence of a landscape buffer and fencing along the west side lot line recognize an existing site condition. Although the abutting lands are zoned DRL (Downtown Residential Low-Density Zone), the building to the west is also used for commercial medical/office purposes, such that the relationship is not one between a new commercial condition and a sensitive residential rear yard, but rather between existing built-form and parking conditions associated with office-type uses. In this regard, the absence of a landscape buffer and fencing reflects the long-standing physical and functional context of the site.
 - The proposal does not intensify the use of the site beyond what has already been approved through the Zoning Clearance Certificate for interior alterations (medical office), and the exterior changes remain minor in scope and suited to the existing building form.
 - Given the existing urban context, the limited extent of the wall reconstruction, and the fact that the proposal maintains the established office-type function of the property, the proposal preserves the general character of the site and remains compatible with the surrounding area.
- Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The proposed wall reconstruction is limited in scope and is located at the rear of the existing building, such that it does not alter the built form facing the street or materially change the established appearance of the site from the public realm.
 - The rear of the site remains separated from the abutting property to the north by fencing and parking and access areas. The reconstructed wall does not project into this northern yard in a manner that would create undue overlook, loss of privacy, or functional disruption, nor does the limited wall infill and reduced rear yard on the subject lands create a dominant or intrusive built form condition when viewed from adjacent properties.
 - The west side yard variance is similarly limited to a portion of the reconstructed wall and results in a minor reduction from 1.2 m to 1.1 m, which does not materially affect the relationship between buildings.

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- With respect to the absence of a landscape buffer and fencing along the west side lot line, the abutting lands to the west, while zoned DRL, are occupied by a building used for medical/commercial purposes. As such, the interface is not between the subject site and a typical low-density residential amenity area, but rather between two properties functioning in a similar office/commercial manner.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – (Rear and West Side Yard (Section 4.1, Table 2.4.1))

The general intent and purpose of Zoning By-law 2020 with respect to rear yard and side yard setbacks is to ensure that adequate outdoor amenity space is maintained, to preserve privacy for adjacent properties, limit building mass in rear yards and ensure adequate separation between buildings for access, maintenance, drainage and privacy between neighbouring buildings. The requested decrease in the rear and side yards (rear: 2.4 m instead of 9 m, side: 1.1m instead of 1.2 m) continue to meet this intent for the following reasons:

- The rear yard variance arises from the reconstruction of a limited portion of the rear wall to infill a previously recessed area, rather than from a substantial expansion of the building into the rear yard.
- The west side yard variance is small in magnitude, confined to the wall infilling depth along the west, representing a reduction of only 0.1 m from the required 1.2 m to 1.1 m, and does not materially affect access, maintenance, drainage, or separation between buildings.
- The proposal does not materially increase the overall scale of the existing building and therefore does not undermine the intent of the yard provisions to regulate building massing and spacing.
- Along the west side, the abutting property already contains a driveway and parking area and is also used for medical office/commercial purposes notwithstanding its DRL zoning. In this context, the reduced west side yard does not create a new incompatible relationship or materially diminish privacy or amenity.
- The rear yard interface remains separated from the abutting property to the north by fencing, parking and access areas, and an existing building separation. The reconstructed wall does not create undue overlook, loss of privacy, or functional adverse impacts on the adjacent property.

Yes – Landscape Buffer and Fencing Abutting DRL Zone (Exception 347)

The general intent and purpose of the Zoning By-law with respect to the required landscape buffer and fencing abutting the DRL Zone is to provide separation between

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potentially incompatible land uses, partially obstruct views of parking and other site activity, and mitigate impacts on adjacent properties through screening in the form of landscaping and/or fencing. The requested variances to permit a 0 m landscape buffer abutting the DRL Zone instead of the minimum required 3 m landscape buffer, and to eliminate the requirement for a minimum 1.8 m high fence along the common boundary with the DRL Zone, maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The variances recognize an existing long-standing site condition along the west side lot line rather than facilitating a new parking area or large development.
- The west side of the subject property already functions as a driveway and parking area for the abutting medical office use. As such, the absence of a landscape buffer and fencing recognizes the established physical context and does not result in a materially different or more intrusive condition.
- Although the abutting lands are zoned DRL, the neighbouring building to the west is used for medical/commercial purposes, such that the relationship is not one between commercial use and a low-density residential amenity area.
- In this context, the absence of a 3 m landscape buffer and 1.8 m fence does not create a materially different or more intrusive condition than what already exists.
- The requested variances therefore recognize the established physical and functional context of the site and do not render the subject and abutting properties incompatible.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The proposed variances are desirable for the appropriate development of the land because:

- The proposal facilitates the continued use of the existing building for medical office purposes, which is appropriate for the site and consistent with the mixed use, office-supportive function for the Downtown Core Precinct.
- The rear and west side yard variances are tied to the reconstruction of a limited portion of wall in order to regularize a previously recessed area, rather than to a substantial expansion or redevelopment of the building.
- The landscape buffer and fencing variances recognize an existing site condition along the west side lot line where the subject lands and the abutting property already include a hardscaped driveway/parking interface, such that the relief reflects the established physical context of the site.

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- The variances allow the building and site to function in a more orderly and practical manner while supporting the approved medical office use without altering the general character of the property.
- Given the limited nature of the physical changes and the existing commercial/office context of the surrounding properties, the requested relief is desirable and appropriate for the development and use of the land.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed variances are considered minor in nature for the following reasons:

- The west side yard variance is minor in quantitative terms, representing a reduction of only 0.1 m from the required 1.2 m to 1.1 m.
- The rear yard variance is confined to a limited portion of the reconstructed rear wall and does not extend across the full width of the building.
- The landscape buffer and fencing variances relate to an existing west side condition where a hardscaped driveway/parking interface already exists and therefore does not create a new or materially intensified impact.
- The proposal does not add a new storey, significantly increase gross floor area, or materially alter the principal building form visible from the street.
- The variances do not result in undue overlook, loss of privacy, or functional disruption to adjacent properties, are limited in scope and do not give rise to unacceptable physical or functional impacts and are therefore minor in nature.

Cumulative Effects of Multiple Variances and Other Planning Matters:

When considered together, the variances do not result in overdevelopment, inappropriate built form, or adverse physical or functional impacts.

Recommendation:

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: April 15, 2026

Prepared By: Melissa Gasic, MCIP RPP

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Report Schedules & Attachments:

Attachment No. 1 (Site Photos)



View of the front



View of the parking lot on the east side



View of the abutting property to the east (1445 Ontario Street)



View of St. John's Roman Catholic Church



View of the east side from the parking lot



View of the rear of the property

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View of the abutting property to the east (1445 Ontario Street) from the parking lot



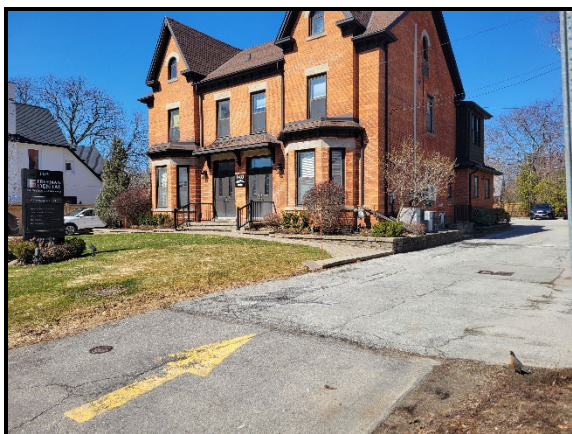
View of the opposite side of the street



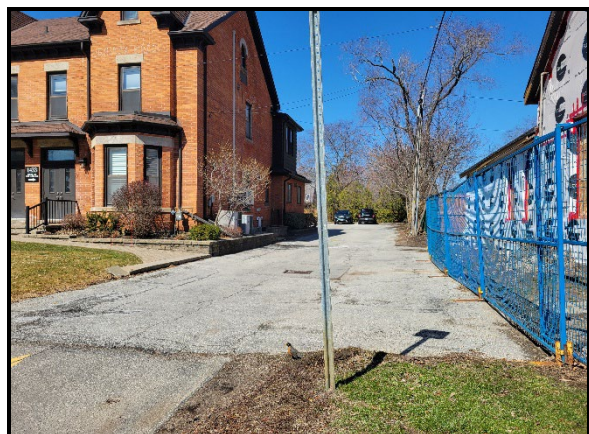
View of the opposite side of the street



View of the westerly property line



View of 1433 Ontario Street



View of 1433 Ontario Street access and parking

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View of 1457 Ontario Street



View towards 505/507 Locust Street



View of the abutting property to the north



View of 471 Locust Street

Technical Reviewer Comments:

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no comments or objection to the proposed variance requested.

Date: April 8, 2026

Prepared By: G. R. Colorado Hernandez

Forestry

Forestry has no objection to the proposed variance requested. However, forestry provides the following advisory comments:

Advisory Comments:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Public and Private Tree By-laws.

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Date: March 20, 2026

Prepared By: M.Krzywicki

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.
3. Exterior wall less than 1.2m but not less than 0.6m to property line requires 45-minute fire resistance rating and shall not contain any new/increased unprotected openings.

Date: April 7, 2026

Prepared By: Q. Tan

Transportation Planning

Deemed Road Width Analysis

The deemed right-of-way width through this section of Ontario Street is 20 metres. To meet the ultimate deemed width of 10 metres from the center line, a widening of approximately 2 metres is required along the frontage of Ontario Street adjacent to the subject site.

Date: January 29, 2026

Prepared By: Thalia Thompson

Transportation Planning have no comments on the application based on the understanding that no changes are being proposed to the existing provision of parking on the subject property.

Date: March 19, 2026

Prepared By: Thalia Thompson

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: March 11, 2026Prepared By: L. Bray**Agency Comments:**

Halton Region

Regional Staff have reviewed the Minor Variance application proposing alterations to an existing building for a proposed medical office use. Variance is requested to the minimum required rear yard and side yard depths, and to remove the requirement for a landscape buffer and fencing abutting the DRL zone to reflect the current site conditions.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Staff have reviewed the application from the Region's Source Water Protection requirements. In accordance with the MOU and to ensure protection of groundwater sources, Halton Region provides the following comments:
 - The property is located within the jurisdiction of the Halton-Hamilton Source Protection Plan (SPP). The Halton-Hamilton SPP can be accessed online at: <http://www.protectingwater.ca/>
 - The property is located in Intake Protection Zone 2 (VS= 6.3) and a Highly Vulnerable Aquifer.
 - Based on the information provided by the applicant, this application is not subject to Section 59 under the Clean Water Act, 2006. Therefore, this application can proceed from a Source Water Protection perspective, and Section 59 notice will not be required.
 - Attached to these comments is a factsheet for the applicant, regarding the Source Water Protection program and the important role landowners play in protecting drinking water sources
- Regional Staff have no objections to the Minor Variance application.

Date: April 8, 2026Prepared By: Navjot Kaur

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Burlington Hydro

Burlington Hydro comments are attached to the end of this report.

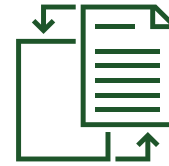
Date: March 19, 2026

Prepared By: Carlos Gaviria

Source Water Protection Factsheet

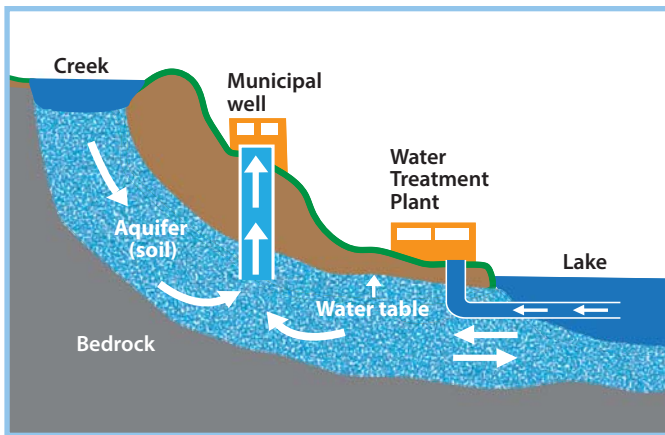
halton.ca

Planning and Building Applications



Sources of drinking water

Sources of drinking water include groundwater from underground aquifers and surface water from streams, rivers and lakes. These water sources are used to supply municipal drinking water systems and private wells in Halton Region, as illustrated below.



Protecting Halton's drinking water

To ensure the consistent delivery of safe and high quality drinking water to our residents and businesses, Halton Region uses a proactive multi-barrier approach to safeguard our municipal drinking water. Under the *Clean Water Act, 2006*, the very first barrier in this approach is **Source Protection**.



Source water protection and Planning/Building Applications

Under the *Clean Water Act, 2006*, additional protection of these drinking water sources from potential contamination or overuse is provided through the mandatory implementation of approved Source Protection Plans. These Plans contain policies to protect municipal sources of drinking water in certain **vulnerable areas**.

Planning/building applications on properties located within **vulnerable areas** may be subject to Source Protection Plan policies if they propose activities identified as significant drinking water threats that may potentially contaminate or overuse municipal drinking water sources such as:

- Applying, handling and storing road salt and snow storage.
- Handling and storing fuels, solvents, hazardous waste and other related chemicals.
- Activities that reduce return of water into the ground.
- Applying, handling, and storing pesticides, fertilizers, agricultural and non-agricultural materials.
- Activities that take water without returning it to the same water source.
- Installing or modifying septic and other sewage systems.
- Use of land for livestock yards and/or pasturing.

Is my property in a vulnerable area?

Applicants can contact their local municipal Planning and Building Departments or Halton Region's Source Protection Office to obtain this information prior to submitting an application. To find out if your property falls within a vulnerable area, such as a wellhead protection area or surface water treatment plant intake zone, visit **halton.ca** or call 311.

Did you know? Compliance with Source Protection Plans is applicable law in the Planning Act and the Ontario Building Code when the property is located in a vulnerable area.

How is my application reviewed?

Municipalities have developed tools to determine whether your application may be subject to Source Protection Plan policies, such as the **Source Protection Checklist** (available at local municipal building/ planning service desks). If the subject property is located in a vulnerable area, applicants will be requested to complete and submit this single page checklist along with other supporting documentation (drawings, details, etc.).

Staff will review the submission and communicate any Source Water Protection requirements to the applicant. In some cases, additional information regarding the proposed activity may be requested to complete the review process.

Step 1

Local municipal staff circulate applications (including Source Protection Checklist) within vulnerable areas to Halton Region's Source Protection Office



Step 2

Halton Region staff will communicate results of Source Protection assessment to applicant and local municipal staff



What do I need to do to comply with Source Water Protection?

Some activities will be managed through traditional methods such as Environmental Compliance Approvals, Permits-To-Take-Water, Nutrient Management Plans and Nutrient Management Strategies. However, depending on the level of risk associated with the proposed activities, some may be prohibited as proposed or require other supporting documents such as:

- Risk Management Plans (see Risk Management Plan fact sheet)
- Site-Specific Salt Management Plans
- Water Balance Assessments
- Hydrogeological Assessments

Where proposed activities are prohibited or regulated through Source Water Protection, municipal staff will provide applicants with detailed feedback regarding what is required.

Did you know? For planning/ building applications located in vulnerable areas, a notice to proceed is required from Halton Region's Risk Management Official before applications are processed.



For more information, visit halton.ca, email sourcewater@halton.ca or call 311.

**RETHINK
WATER**



Enjoy Conserve Protect



halton.ca 311





Burlington **hydro** inc.

March 19, 2026

1441 Ontario St,
Burlington, ON

Attention: Gordon Griffiths, 905-301-5429, gord@ggriffiths.net, G.Griffiths & Associates Ltd.

Re: Proposed 9" wall extension

Mr. Griffiths,

This letter serves as confirmation that Burlington Hydro Incorporated ("BHI") has reviewed the proposed 9" wall extension designs forming part of building permit file number **A-008-2026** submitted to the City of Burlington's Building Department.

After reviewing the submitted permit application drawings and examining BHI records, we have identified that the proposed wall extension conflicts with the existing hydro meter base. The meter base will need to be relocated at your expense.

Before you begin demolition or construction, we would like to stipulate the following conditions:

- Relocation, modification or removal of existing hydro facilities, if required, shall be at the customer's expense. BHI will refer to the latest BHI standards, if possible, if issues arise between existing hydro facilities and proposed building structures.
- Hydro easement is to remain clear of heavy vehicle traffic. Construction shall not encroach any easement.
- Customer is to ensure that BHI has access to hydro facilities and easements.
- Customer to acquire any easement for Burlington Hydro, if required.
- Project must meet City of Burlington Standards.
- Machine excavation within one meter of underground plant is not permitted.
- Do not excavate within two meters of Hydro poles and anchors except for the termination pole where the duct structure shall be terminated by the customer under the supervisor of BHI inspector.
- Please arrange for underground hydro cable locates, prior to beginning construction, by contacting Ontario One call at (800) 400-2255.
- To ensure safety, maintain a minimum working clearance of 1 meter (3 feet) from any secondary wire (120V/240V) and a 3-meter (10 feet) minimum clearance from any primary wire (exceeding 750V).
- Please refer to the latest edition of the Occupational Health and Safety Act ("OHSA") and Regulations for Construction Projects when construction is planned to be performed in the proximity of hydro distribution system.



Burlingtonhydro inc.

- Arrange for disconnect and isolation of the power supply if a person or equipment is to encroach on the minimum distance permitted under the OHSA and OESC.

I may be contacted at (905) 332 1851 ext. 347 should you have additional questions or concerns

Regards,

Carlos Gaviria C.E.T.
Engineering Services Technician

Rosso Parra, P.Eng.
Engineering Manager
Customer Connections & Key Accounts

MAR. 19 / 2026
RP

PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____ Name of Zoning Examiner: Nathan Dart

PROPERTY INFORMATION

Municipal Address(es) of property:

1441 Ontario Street, Burlington, Ontario, Canada L7S 1G5

Legal Description of property:

Lot 51, Registered Plan 74

City of Burlington, Region of Halton

Official Plan Designation: Downtown Core Precinct Current Zoning Designation DC-347

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

1001071524 ONTARIO INC. (Amiras Ghori/ Pooja Ghori)

Mailing Address: 881 Bessy Trail, Milton, Ontario City: Milton

Postal Code: L9T 0A6 Home Phone: _____ Mobile Phone: _____

Work Phone: _____ E-Mail: _____

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: Gordon Griffiths (G.Griffiths & Associates Ltd.)

Business Address: 3228 South Service Road, Suite 213, City: Burlington

Postal Code: L7N 3H8 Home Phone: _____ Mobile Phone: ██████████

Work Phone: (905) 631-0155 E-Mail: ██████████

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

The proposed development is to construct a new wall located at the rear of the building. New development encroaches into the rear and side yard setbacks as per the Zoning by-law 2020.

Variance(s) Requested	Zoning Bylaw Requirement
Rear Yard Encroachment	
Side Yard Encroachment	
0m landscape buffer abutting a DRL zone	
Fence required along DRL zone	

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

- Why is the variance(s) minor in nature? See attached Justification Report (attached)
- Why are the variance(s) desirable for the appropriate use of the land? See attached Justification Report
- Do the variance(s) meet the intent and purpose of the Official Plan? See attached Justification Report
- Do the variance(s) meet the intent and purpose of the Zoning By-law? See attached Justification Report

PROPERTY DETAILS (please complete all fields):					
Date property purchased:	JAN/13/2025 <small>mmm/dd/yyyy</small>	Date property first built on:	1830's <small>mmm/dd/yyyy</small>	Date of proposed construction:	Nov/ 2025 <small>mmm/dd/yyyy</small>
Existing Use of the Subject Property (check one):		Length of time the existing uses of the subject property have continued:			
Detached Dwelling <input type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____		Unknown			
		Proposed Use of the Land:			
		Construction of existing commercial use. (Medical Office)			
Existing Uses of Abutting Properties (check all that apply)					
Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>					
Additional Information					
Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>					
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>					
Type of Access to the Subject Lands					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>	
Municipal Services Provided					
Water <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
Sanitary Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
Storm Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:					
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input checked="" type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent					

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/Addition)	
Ground Floor Area (incl. attached garage)	M ²	Ground Floor Area (incl. attached garage)	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:		Number of Storeys:	
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
Garage/Car Port		Garage/Car Port	
Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>	Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
Accessory Structures (Shed, Gazebo, etc)		Accessory Structures	
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
Other (pool, additional sheds, decks, driveways, etc.)		Other	
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M

LOCATION of all existing and proposed buildings and structures

EXISTING		PROPOSED	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side/Street Side:	M	Side/Street Side:	M
Side/Other Side:	M	Side/Other Side:	M

FOR COMMERCIAL, MIXED USE, INDUSTRIAL AND OTHER

Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> File #:
Frontage	Depth	Area	Actual	Deemed	Required		
25.15	20.18	507.92	17.6	20m			

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Building)		PROPOSED (Building/Addition)	
Ground Floor Area:	141.98 M ²	Ground Floor Area:	143.526 M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:	1 STOREY	Number of Storeys:	1 STOREY
Width:	11.34 M	Width:	11.34 M
Length:	15.32 M	Length:	15.32 M
Height:	6.198 M	Height:	6.198 M
Floor Area: Office Space	141.98 M ²	Floor Area: Office Space	143.526 M ²
Floor Area:	- M ²	Floor Area:	- M ²
Warehouse/Retail/Other:		Warehouse/Retail/Other:	
# of Existing Units:	1	# of Proposed Units:	1
Floor Area Ratio:		Floor Area Ratio:	
Required Parking Spaces:	9	Proposed Parking Spaces:	6
Existing Parking Spaces:	6		
EXISTING (Other)		PROPOSED (Other)	
Ground Floor Area:	M ²	Ground Floor Area:	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:		Number of Storeys:	
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
LOCATION of all existing and proposed buildings and structures			
EXISTING (Building)		PROPOSED (Building)	
Front:	2.49 M	Front:	2.49 M
Rear:	2.42 M	Rear:	2.42 M
Side:	1.15 M	Side:	1.15 M
Side:	12.65 M	Side:	12.65 M
OTHER		OTHER	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M

MULTI-RESIDENTIAL

(STREET TOWNHOUSE, HI-RISE, STACKED TOWNHOUSES, DUPLEXES, etc)

Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input type="checkbox"/> N <input type="checkbox"/> File #:
Frontage	Depth	Area	Actual	Deemed	Required		

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Building)		PROPOSED (Building/Addition)	
Ground Floor Area:	M ²	Ground Floor Area:	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:		Number of Storeys:	
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
# of Existing Units:	M ²	# of Proposed Units:	M ²
Floor Area Ratio:	M ²	Floor Area Ratio:	M ²
Required Parking Spaces:		Proposed Parking Spaces:	
Existing Parking Spaces:			
EXISTING (Other)		PROPOSED (Other)	
Ground Floor Area:	M ²	Ground Floor Area:	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:		Number of Storeys:	
Width:	M	Width:	M
Length:	M	Length:	M
Height:		Height:	M

LOCATION of all existing and proposed buildings and structures

EXISTING (Building)		PROPOSED (Building)	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M
OTHER		OTHER	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.


A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	1001071524 ONTARIO INC. (Amiras Ghori/ Pooja Ghori)	Property Address	1441 Ontario Street, Burlington, Ontario, Canada L7S 1G5
	 <hr/> Signature of Owner/Applicant		<hr/> JAN/14/2026 Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: _____

I, Gordon Griffiths of the City of Burlington in the Region
(print name) (Region/City/County) (City/Town/Township)

of Halton solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Region of Halton
(Region/City/County) (City/Town/Township)

this 13th day of January 2026
07

Michael De Fabricis
Barrister & Solicitor
Notary Public and Commissioner of Oaths
in and for the Province of Ontario.
My commission is of unlimited duration
No legal advice given.

Signature of Commissioner, etc

MICHAEL DE FABRIS

Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT* This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 1441 Ontario Street, Burlington, Ontario, Canada L7S 1G5

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

[Signature]
Signature of Owner

AMIRAS GHORP
Print Name

200-4145 North Service Road
Burlington, ON, L7L 6A3
info@walkinotary.com

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

1001071524 ONTARIO INC.

I, (Amiras Ghori/ Pooja Ghori) being the registered owner of the subject lands, hereby
(print name)

Gordon Griffiths

Authorize (G.Griffiths & Associates Ltd.) to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.



Signature of Owner

JAN/14/2026

Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

1441 Ontario Street, Burlington, Ontario, Canada L7S 1G5

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	✓
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	
SITE PLAN <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input checked="" type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
 Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

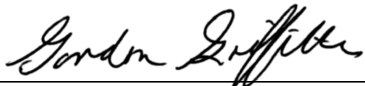
ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



Signature of Owner/Agent

JAN/19/2026

Date (mmm/dd/yyyy)

Revised March 10, 2026

Attn: Committee of Adjustment
426 Brant Street,
Burlington, Ontario, L7R 3Z6

Re: Committee of Adjustment Justification
1441 Ontario Street

The following Brief provides a summary of the justification of the required minor variance to support the proposed renovation of the single storey commercial office (Medical) located at 1441 Ontario Street, Burlington.

Subject Lands and Proposed Use

The subject property, located at 1441 Plains Road in Burlington is currently occupied by a one storey, detached structure. The building is undergoing a major interior renovation as part of building permit # 25 004401 00 CP. The site currently utilizes the east side yard for open air parking. The building is a non-designated heritage property with the Burlington Historical society.

The owner seeks to straighten an existing exterior wall by extending a portion of the northwest rear wall approx. 9". The existing wall is a legal non conforming condition as it sits inside the 9.0m rear yard. The owner wishes to make the building properly barrier free accessible with the inclusion of a new ramp located at the main entrance.



Figure 1.- Key Plan

Background

Located on the north side of Ontario Street near Locust Street, the subject site is approximately 507.9 square metres in lot area and is currently designated as DC-347 within the City of Burlington's Zoning By-Law 2020.

The application pursues the approval of minor variances that would allow the minor extension to the existing northwest exterior wall. The proposed approximate 9" extension will straighten the profile of the wall in line with an existing portion of the building (to remain) which is a legal nonconforming condition.

The area of the proposed extension is in the existing rear and side yard and does not impact the access to the site or building.



Figure 2. – Context Plan



Figure 3. – Heritage Listing

Proposed Variances

The following Minor Variances have been identified as required:

1. To permit a building extension into the rear yard providing a rear yard setback of 2.39m, whereas the Zoning By-law 2020, as amended, requires a rear yard setback of 9.0m.
2. To permit a building extension into the side yard providing a side yard setback of 1.14, whereas the Zoning By-law 2020, as amended, requires a side yard setback of 1.2m.
3. To permit a 0m landscape buffer abutting the DRL zone instead of the required 3m landscape buffer.
4. To eliminate the requirement for fence to be installed along the common boundary with the DRL zone (west side lot line) with minimum height of 1.8

Evaluation of the Proposed Minor Variances

The application to the City of Burlington Committee of Adjustments seeks approval of a minor variance to permit the construction within the rear and side yard of the existing dwelling.

As such, the application is evaluated by examining the four tests of minor variance, as set out under Section 45 (1) of the Planning Act:

- 1) Is the application minor in nature?
- 2) Is it an appropriate and desirable development for the area?
- 3) Is it in keeping with the purpose and intent of the Zoning By-law?
- 4) Is it in keeping with the purpose and intent of the Official Plan?

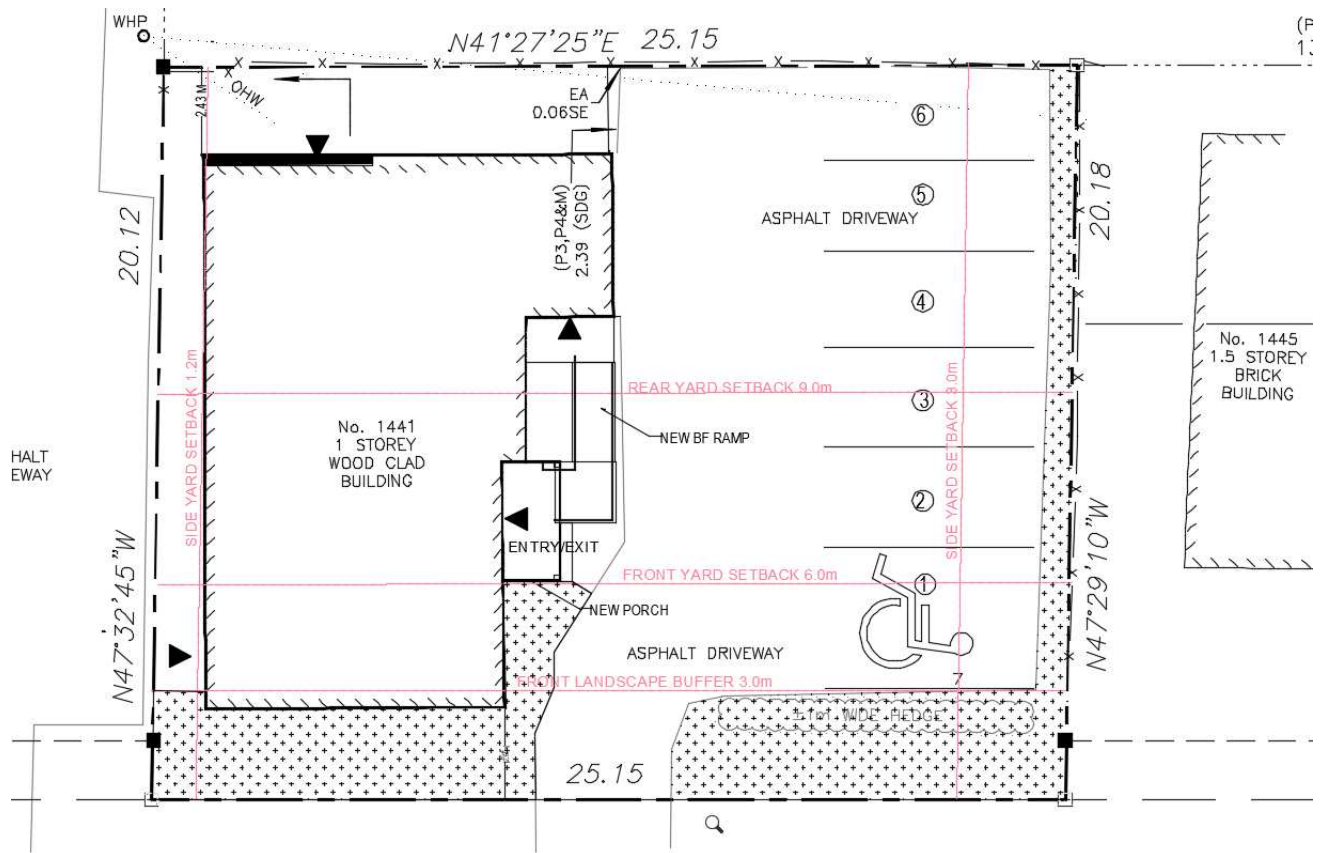


Figure 3. Minor Variance Sketch

Test #1: Minor in Nature

To adequately evaluate whether a proposed By-law variance is minor, the resulting impact, if any, must be determined and considered. While a variance may represent a mathematical deviation from the By-law, it may still be considered minor if the resulting impacts of the variance does not result in significant adverse impacts on the surroundings. These surroundings include neighboring properties as well as the general 'streetscape' of the public space.

1. Rear Yard Setback

A variance is required to permit the extension of the existing building into the rear yard of the property. It is noted that the proposed extension to the building, will not extend past the face existing portion of the building. The new wall will match the existing encroachment and create a flat, flush continuous wall. The setback requirements of the parent DC zone requires a setback of 1.5m. The Zoning Exception 347 requires the site to meet the requirements of a R3.2 zone.

The requested minor variance does not make the proposed condition more egregious than the existing condition. (see Figure 4).

2. Side Yard Setback

A variance is required to permit the rear extension of the existing building into the required side yard of 1.2m. The new rear wall will match flush to the existing side wall elevation and create a flat, flush continuous wall. (see Figure 4).

Required Side Yard	1.2m side yard one side (Per R3.2 Zone)
	3.0m other side
Existing Building Corner	1.16m Side Yard
Proposed Extension Corner	1.14m. Side Yard

Numerically, the requested relief is 5%.

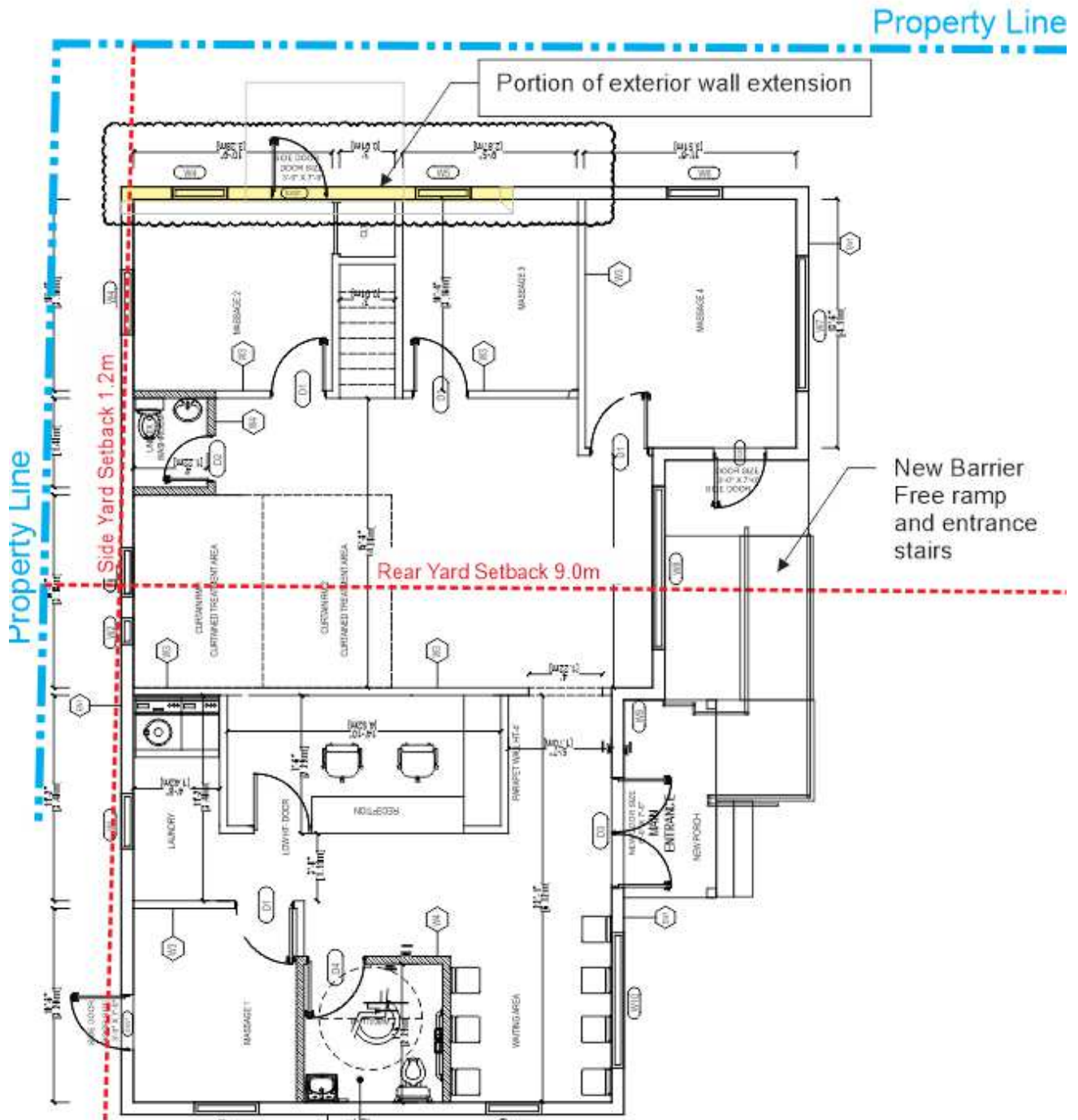


Figure 4. – Rear and Side yard Encroachments

3. Landscape Buffer

A variance is required to permit the existing condition of a reduced landscape buffer adjacent to a DRL zone from a required 3.0m. The existing building setback from the property line is less than the required landscape buffer. This existing condition is not significantly affected by the proposed construction. The modification will not be visually noticeable as different from the existing condition.

4. Fence requirement

A variance is required to permit the elimination of the requirement for a fence to be installed along the common boundary with the DRL zone (west side lot line) with minimum height of 1.8. The existing side yard has not had a fence installed along the property line as far back as 2007. Visually, the street scape is improved without a fence installed. Functionally, the small area of landscape are remaining would be difficult to maintain with a fence installed.



Figure 5. - 1441 Ontario Street – Proposed conditions – looking along Rear Elevation

Test #2: Appropriate and Desirable Development

For The Area, the proposed variances required to facilitate the construction of the minor building extension on the existing subject lands will create a built form that is appropriate in the immediate neighbourhood context. The proposed addition to the existing building on the subject land features architectural quality and attention to detail that will compliment the existing. The material choices for the building will be used across all exterior elevations.

As noted, the property is located on a mature lot within the City of Burlington, and the proposed variances will allow for an existing, improved building that is appropriate in its design and that fits within this neighbourhood.

The variances for the proposed addition will not create negative impacts within the context of the immediate neighbourhood. The prevailing character of building typology is being maintained, and the proposed massing, and scale are being maintained with minimal impacts to adjacent properties or within the neighbourhood. The proposed application minimizes the impacts associated with privacy, overlook and shadowing on neighbouring properties and promotes a development of a compatible scale as observed from neighbouring properties and the street.

The proposed minor building extension will not impact the 'streetscape' of the public realm as the work is in the rear area of the side yard & shielded in the rear and side yard.

As such, the proposed development is appropriate and desirable for the area.

Test #3: Intent of the Zoning By-Law

The lands are currently designated as DC-347 within the City of Burlington's Zoning By-Law 2020 and uses the zoning requirements of a R3.2 Zone.

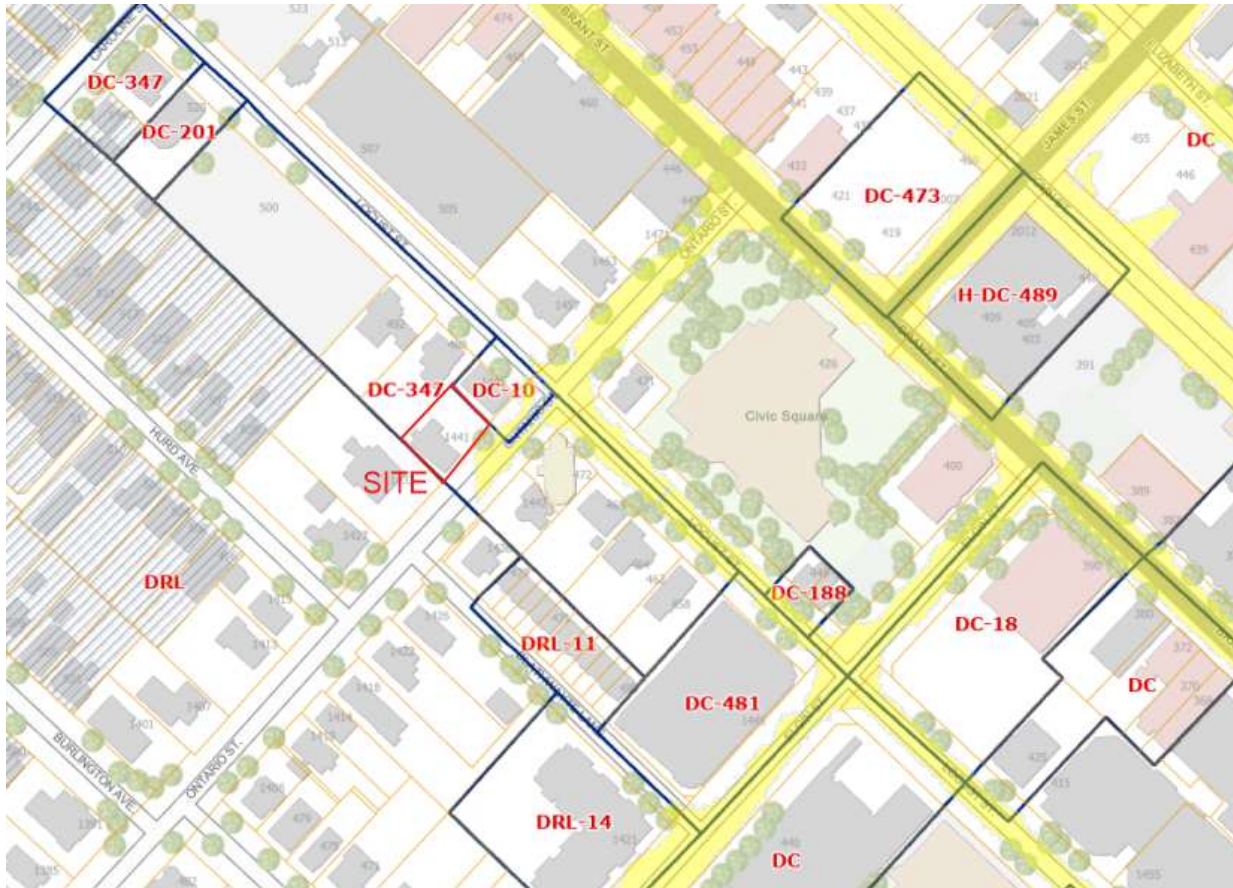


Figure 6. - 1441 Ontario Street – Partial Zoning Map

Minimum Front and Rear Yard Setback

The intent of the restrictions of the side and rear yard in the Zoning By-law is to ensure that proposed buildings placement is compatible with the prevailing character and streetscape as well as maintaining the massing within the immediate neighbourhood.

The boundaries of the property located at 1441 Ontario Street are located in the Downtown Core. The proposed alterations to the building are minor and do not encroach significantly further into the required yards than the existing non-conforming conditions.

The proposed scope of work will not alter the existing massing and the access to the site from the public realm is not changed. The requested relief does not materially change the building relative to the existing conditions and the intent of the zoning bylaws.

Landscape Buffer

The intent of the landscape requirements of the side yard in the Zoning By-law is to ensure that landscaping is provided to "soften" the streetscape of the public realm. The existing landscape buffer is restricted by the as-built position of the building relative to the property line. It is impossible to meet the zoning by-law requirements.

Test #4: Intent of The Official Plan

The proposed building extension to the existing commercial property is a permitted land use under the "Downtown Core Precinct" land use designation. The proposed work is in keeping with the character of the existing neighbourhood as outlined in the Official Plan.

The proposed development provides minor building area additions and will improve the exterior aesthetics of the building, while not adding to the existing infrastructure. The proposed variance for the minor building work is in keeping with current policy as the existing commercial development is compatible with surrounding properties in relation to the massing, setbacks and height that is found within the immediate neighbourhood context.

In our opinion, the proposal is considered to be compatible with respect to the scale, height, massing, architectural character and materials of the established built form that exists within this area. As such, the proposed development meets the general intent of the Official Plan and provides a continuation of built form and development features that contribute to this neighbourhood and do not detract from it.

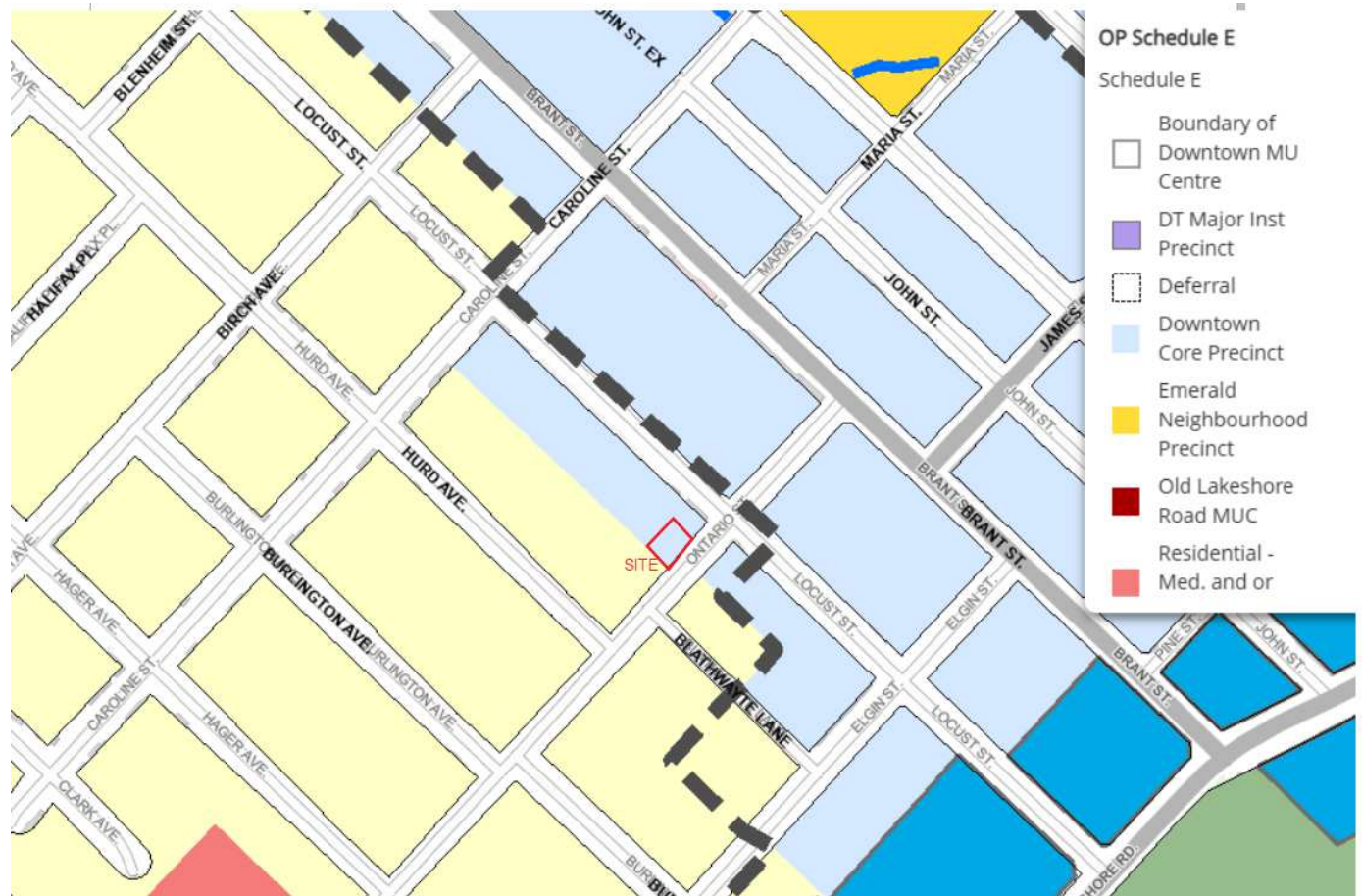


Figure 7. - 1441 Ontario Street – Official Plan Map

Planning Conclusion

This report evaluates the proposed minor variances in accordance with the tests in the Planning Act. The proposed variances have been reviewed in relation to the current requirements of the Zoning By-law and specifically examined with respect to the adverse impact, if any, that would be experienced in the nearby area as a consequence of the granting of the variance.

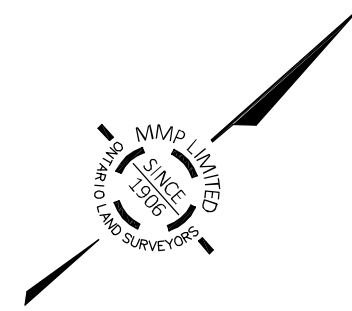
It is our opinion that the property can accommodate the variances for the building extension into the rear and side yard, the landscape requirement and fence requirement without adverse impact on nearby properties and while fitting into the character of the area compliments the features of the existing commercial unit on the property.

As such, the application is considered minor in nature, desirable for the use of the land and maintains the general intent and purpose of the Official Plan and Zoning By-law. On this basis, the proposed development satisfies the four tests required for a minor variance application under the Planning Act and represents good planning.

Respectfully submitted by,



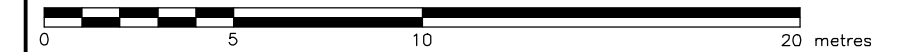
Gordon Griffiths
G. Griffiths & Associates Ltd.



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74

PLAN OF SURVEY OF
PART OF
LOT 51
REGISTERED PLAN 74
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 200



THE INTENDED PLOT SIZE OF THIS PLAN IS 580mm IN WIDTH BY 340mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)

MackKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
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METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-88973



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

LEGEND

- DENOTES A SURVEY MONUMENT FOUND
- DENOTES A SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- PB DENOTES PLASTIC BAR
- P1 DENOTES PLAN 20R-10209
- P2 DENOTES PLAN 20R-3762
- P3 DENOTES PLAN BY SEWELL & SEWELL DATED AUGUST 16, 1971 (71-383)
- P4 DENOTES PLAN BY MMP LIMITED DATED DECEMBER 11, 2023 (23-260-PS)
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- (OU) DENOTES ORIGIN UNKNOWN
- (SDG) DENOTES SIDING
- (BR) DENOTES BRICK
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- EA DENOTES EDGE OF ASPHALT
- WHP DENOTES WOOD HYDRO POLE
- OHW DENOTES OVERHEAD WIRE

A ROTATION OF 01°00'40" HAS BEEN APPLIED TO BEARINGS ON P2
A ROTATION OF 00°04'50" HAS BEEN APPLIED TO BEARINGS ON P4

BEARING REFERENCE

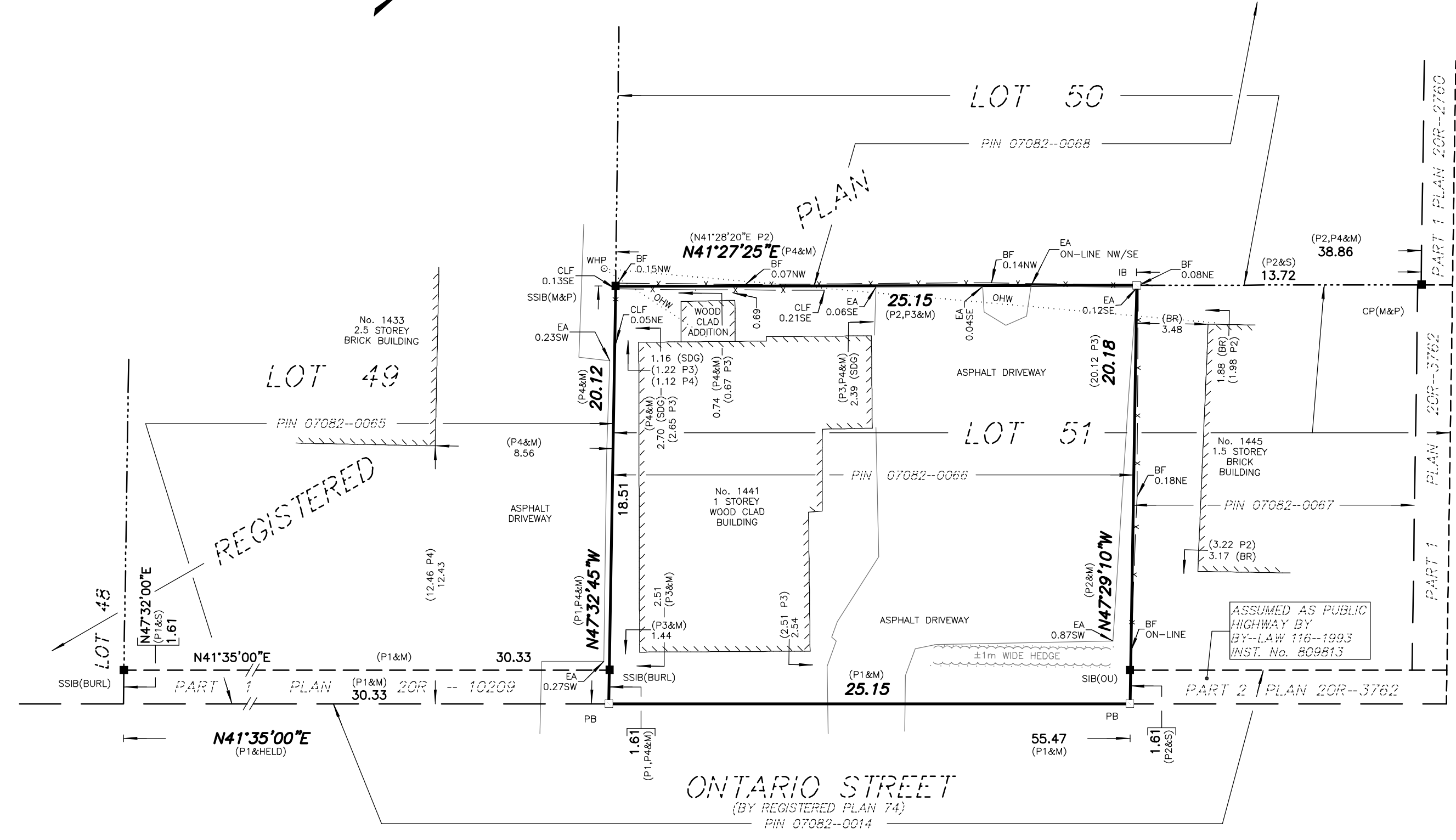
BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF ONTARIO STREET AS SHOWN ON PLAN 20R-10209 HAVING A BEARING OF N41°35'00"E

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 25th DAY OF NOVEMBER, 2024.

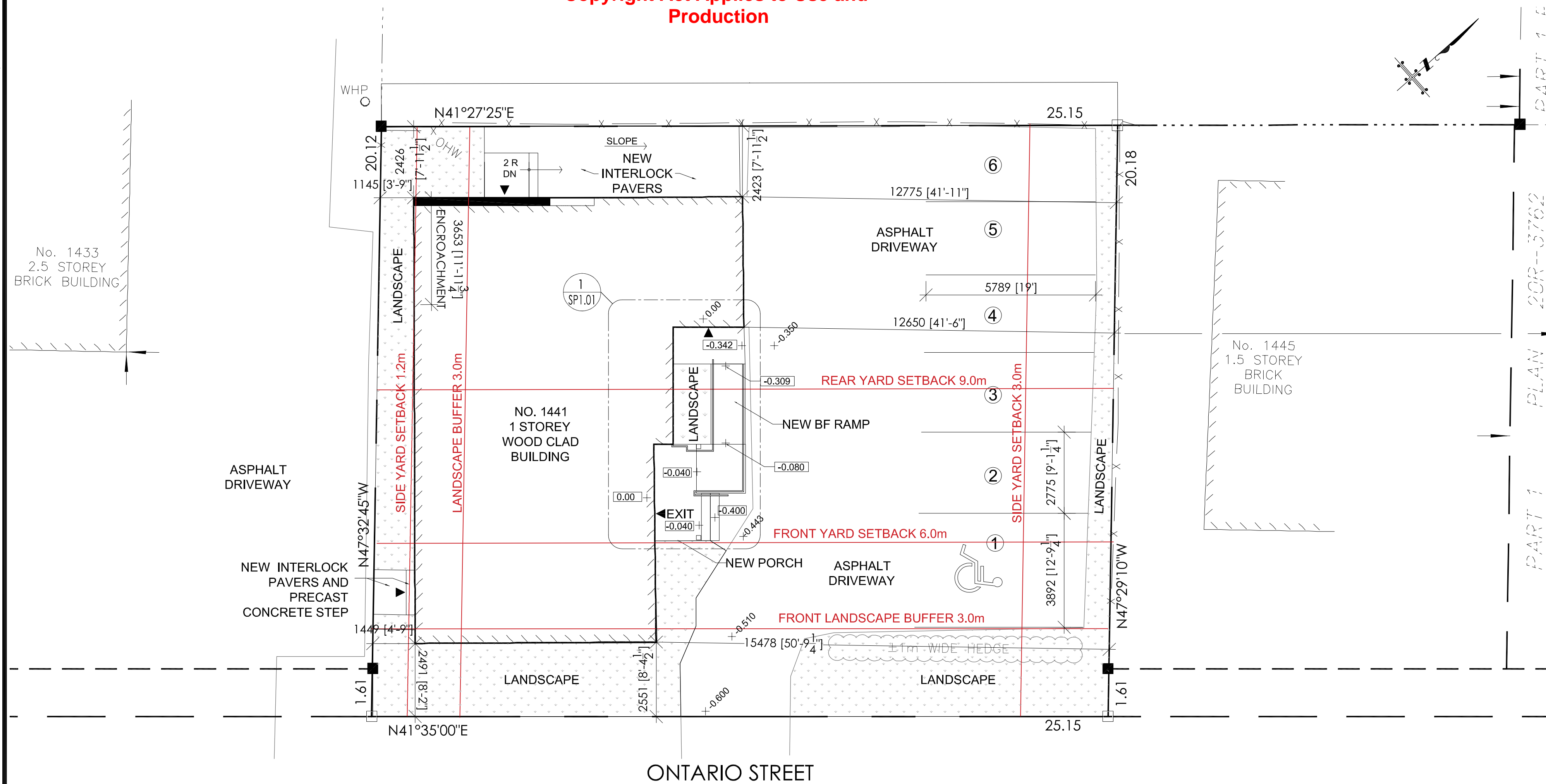
NOVEMBER 25, 2024
DATE

Roy C. Mayo
ROY C. MAYO
ONTARIO LAND SURVEYOR
FOR MACKAY, MACKAY & PETERS LIMITED



LOCUST STREET
(BY REGISTERED PLAN 92)

E:\(20) Halton\Registered Plans\RP0074\LOT 51\24-249\24-249-PS.dwg	
<p>Mackay, MacKay & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906</p>	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmplimited.com mmplimited.com
	DRAWN BY: G.S.
	PARTY CHIEF: A.B.
	CHECKED BY: <i>fm</i>
PROJECT No.: 24-249-PS	



1 SITE PLAN
SCALE: 1:100

LEGEND:

+0.00	EXISTING GRADE
-0.342	PROPOSED GRADE
-x-x-	PROPERTY LINE

MINOR VARIANCES:

ZONING BY-LAW 2020, PART 14: EXCEPTIONS TO ZONE DESIGNATIONS, DC-347: ALL PERMITTED USES ARE SUBJECT TO R3.2 ZONE REGULATIONS.

PART 2: RESIDENTIAL ZONES, TABLE 2.4.1. STATES R3.2 MINIMUM REAR YARD SETBACK IS 9m AND THE MINIMUM SIDE YARD SETBACK IS 1.2m.

THE BUILDING IS AN EXISTING NON-CONFORMING CONDITION WHICH SITS WITHIN THE 9.0m SETBACK FOR THE REAR YARD AND WITHIN THE 1.2m SETBACK FOR THE SIDE YARD. THE PROPOSED ADDITION/ EXTENSION ENCLOSES INTO THE REQUIRED YARDS.

THE EXISTING BUILDING POSITION ENCLOSES INTO THE REQUIRED LANDSCAPE BUFFER ADJACENT TO THE DRL ZONE. REQUEST FOR AN EFFECTIVE 0m LANDSCAPE BUFFER ALONG THE WEST SIDE OF THE PROPERTY.

A FENCE IS REQUIRED ADJACENT TO THE DRL ZONE ON THE WEST SIDE OF THE PROPERTY. THEREFORE, MINOR VARIANCES ARE REQUIRED.

PROPERTY STATISTICS:

LEGAL DESCRIPTION: LOT 51, REGISTERED PLAN 74
MUNICIPAL ADDRESS: 1441 ONTARIO STREET, BURLINGTON, ONTARIO CANADA L7S 1G5

REGISTERED OWNERS: 1001071524 ONTARIO INC. (AMIRAS GHORI/ POOJA GHORI)

ZONING STATISTICS:

	EXISTING	PERMITTED	PROPOSED
ZONING:	DC-347	DC-347	DC-347
LOT AREA:	507.59m ²	425m ² (min)	UNCHANGED
BUILDING AREA:	141.98m ² (1528.26sq.ft)	-	143.53m ² (1544.90sq.ft)
LOT FRONTAGE:	13.5m	12m	UNCHANGED
LOT COVERAGE:	28.0%	32%	28.3%
FRONT YARD:	2.49m	6.0m	UNCHANGED
SIDE YARD:	1.15m	1.2m	UNCHANGED
OTHER SIDE YARD:	12.65m	3.0m	UNCHANGED
REAR YARD:	2.42m	9.0m	UNCHANGED

designer



G. GRIFFITHS + ASSOCIATES LTD.
development • design • management



QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2. OF THE BLDG. CODE

G. Griffiths & Associates Ltd. 115901
FIRM NAME BCIN/BCDN

Gordon Griffiths 30283
Gordon Griffiths BCIN

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issued for

1 coordination	24.12.2025
2 minor variance	08.01.2026
3 minor variance	10.03.2026

project

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1441 Ontario Street,
Burlington, ontario

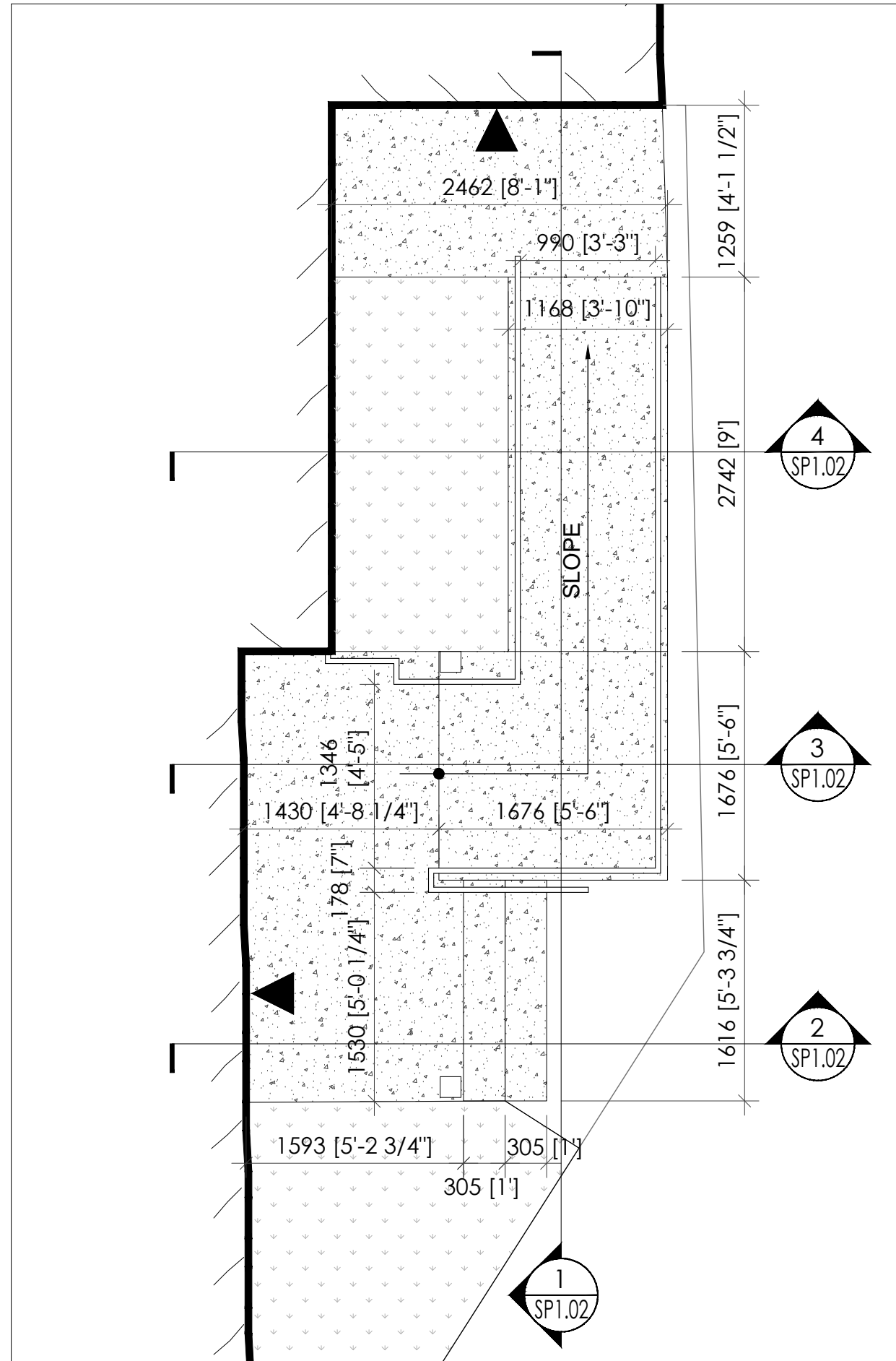
drawing name
site plan

date drawn 22.12.2025
drawn by rb/ eb
checked by gg
file name GG+A 18x24
project no. 25055

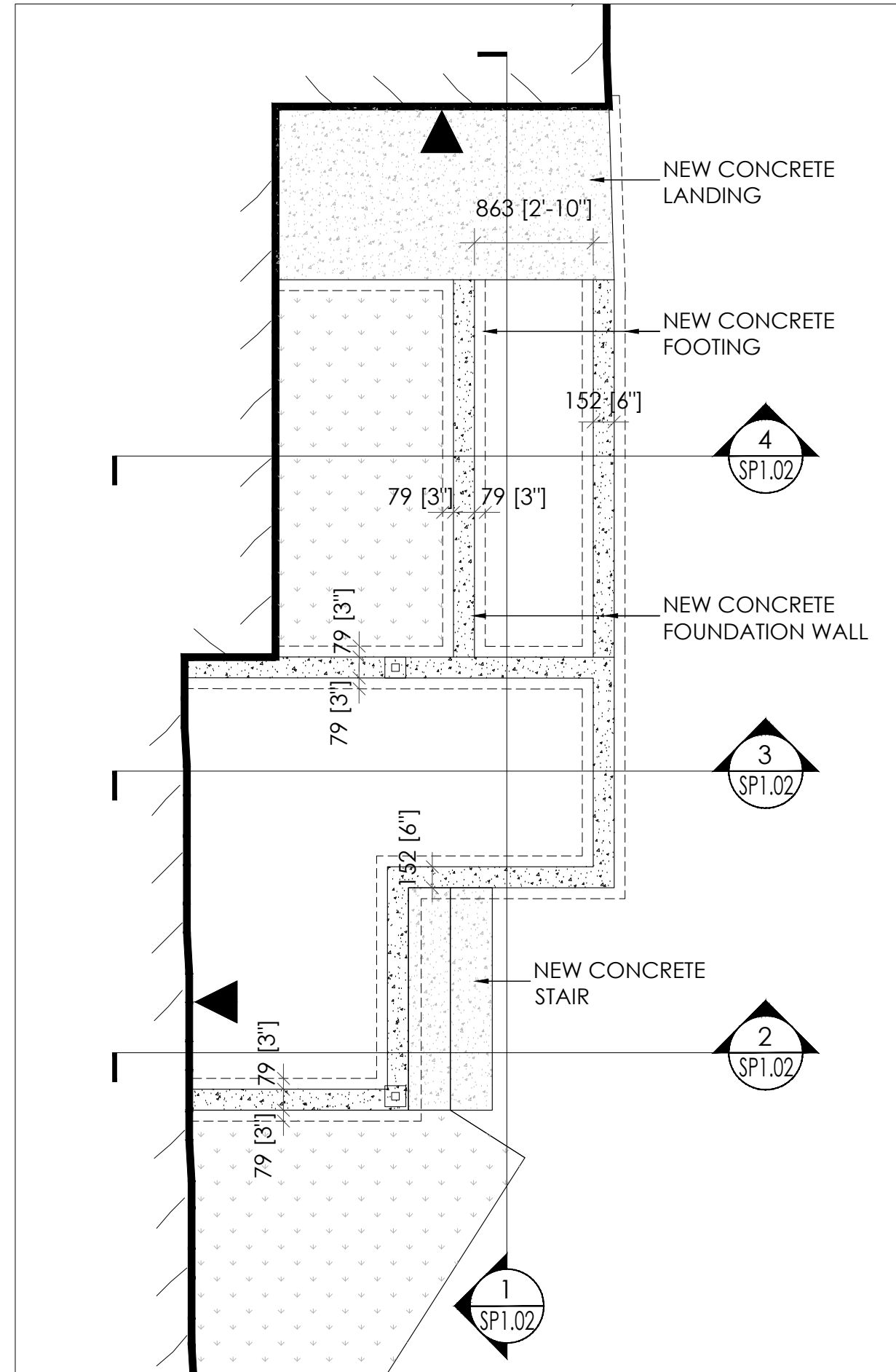
scale as noted

drawing no.

SP1.00



1 BARRIER FREE RAMP PLAN
 SCALE: 1:40



2 BARRIER FREE RAMP- FOUNDATION PLAN
 SCALE: 1:40

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designer



3228 south service road, suite 213
 burlington, on L7N 3H8
 t 905.631.0155 e gord@ggriffiths.net

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issued for	
1 coordination	24.12.2025
2 minor variance	08.01.2026

project

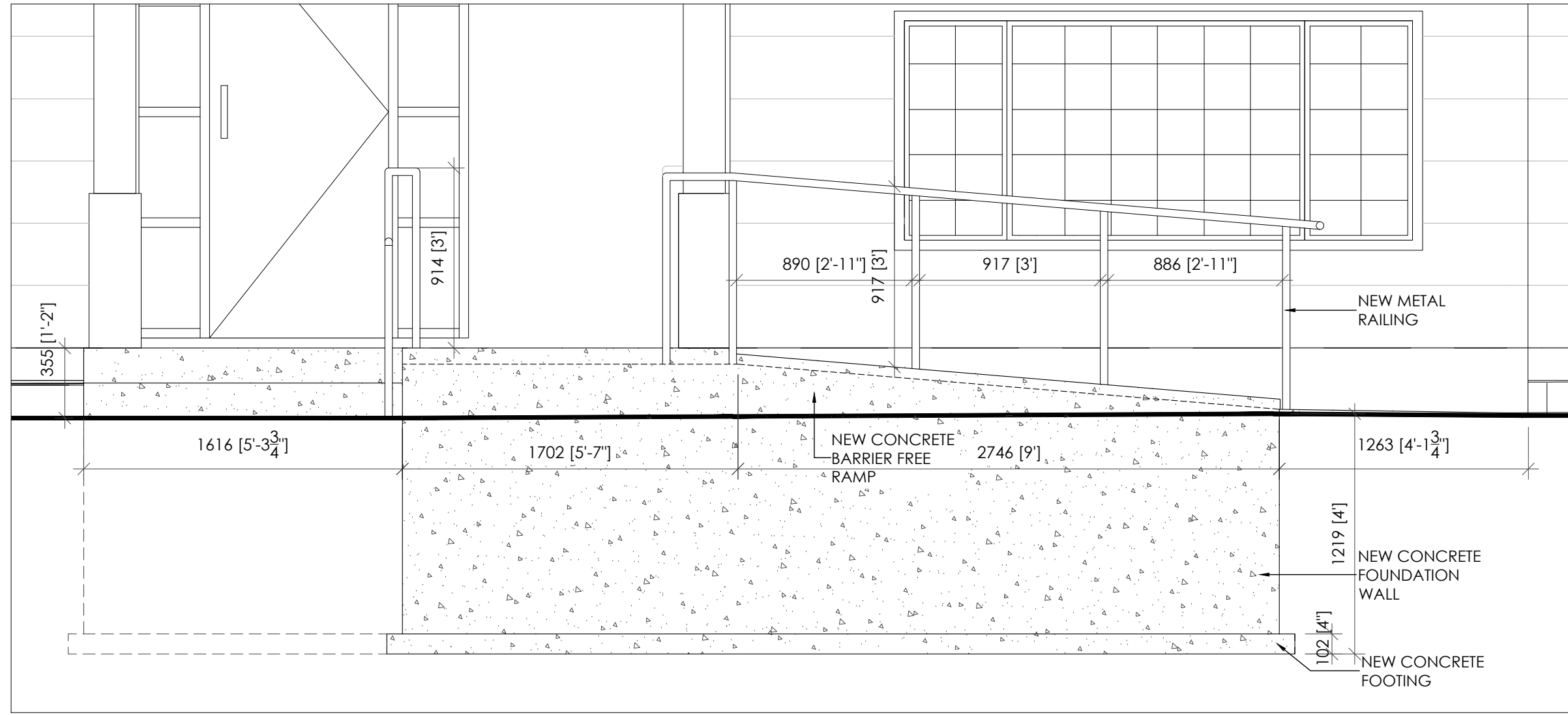
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drawing name
barrier free ramp plans

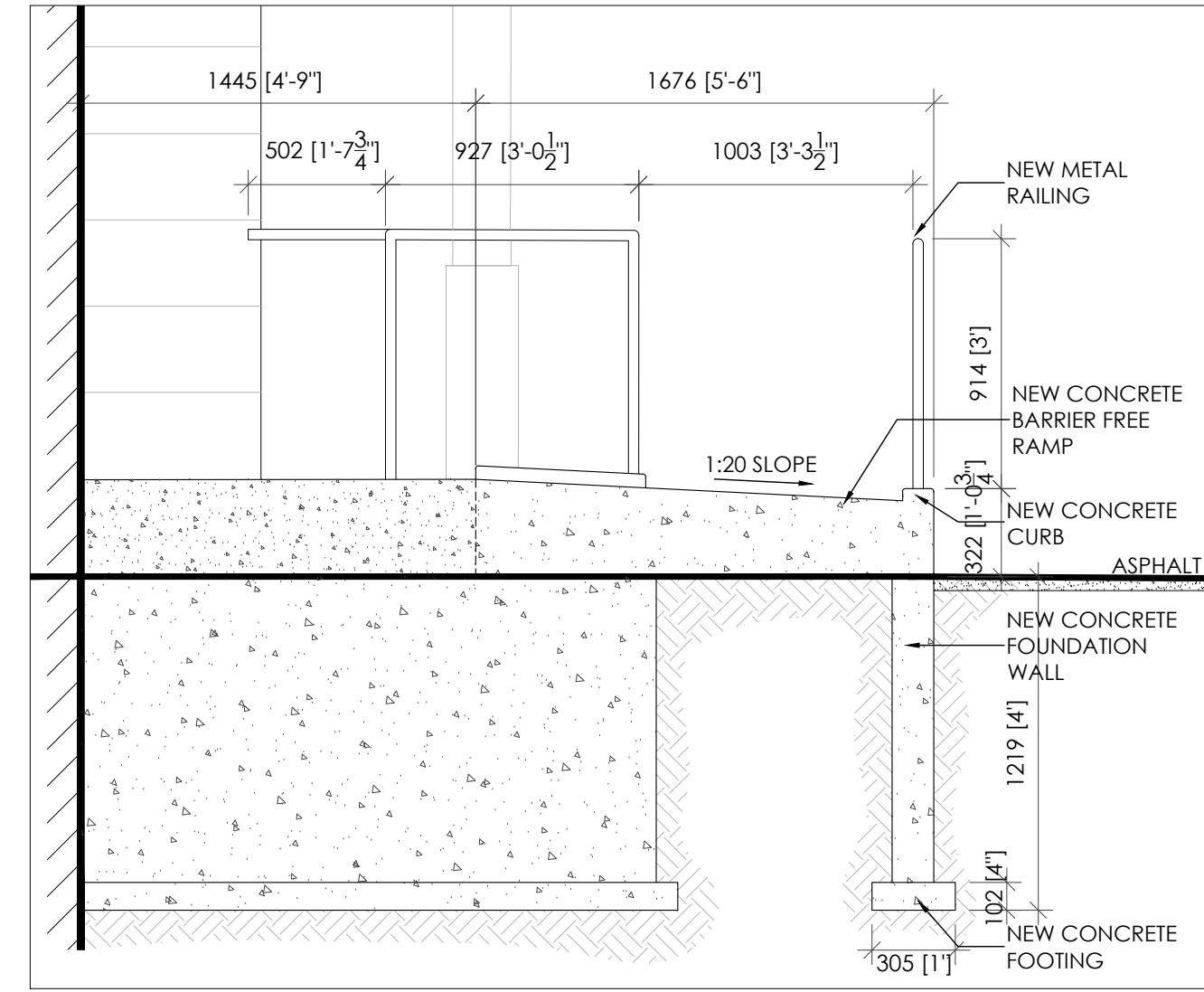
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 drawn by rb/ eb
 checked by gg
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 project no. 25055
 scale as noted

drawing no.

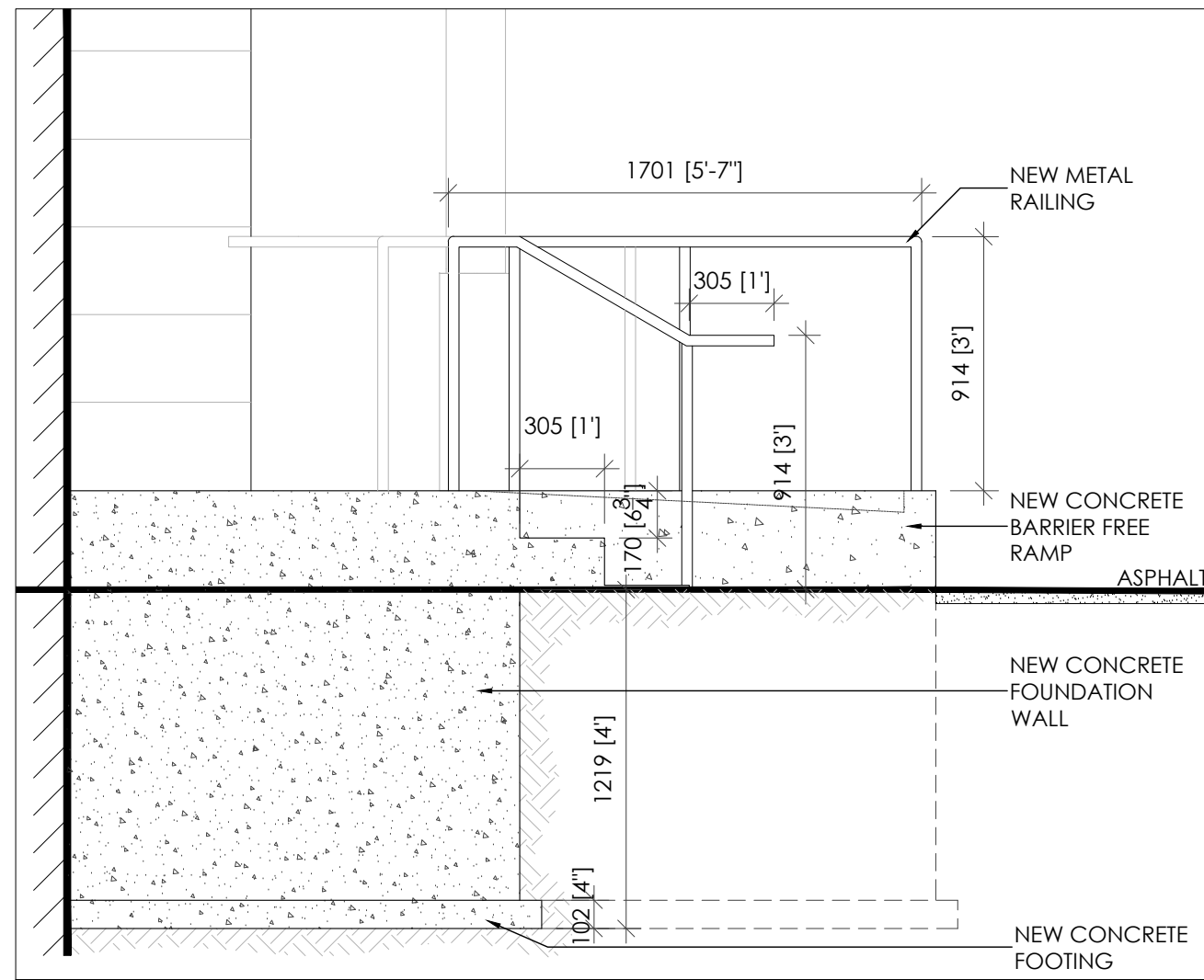
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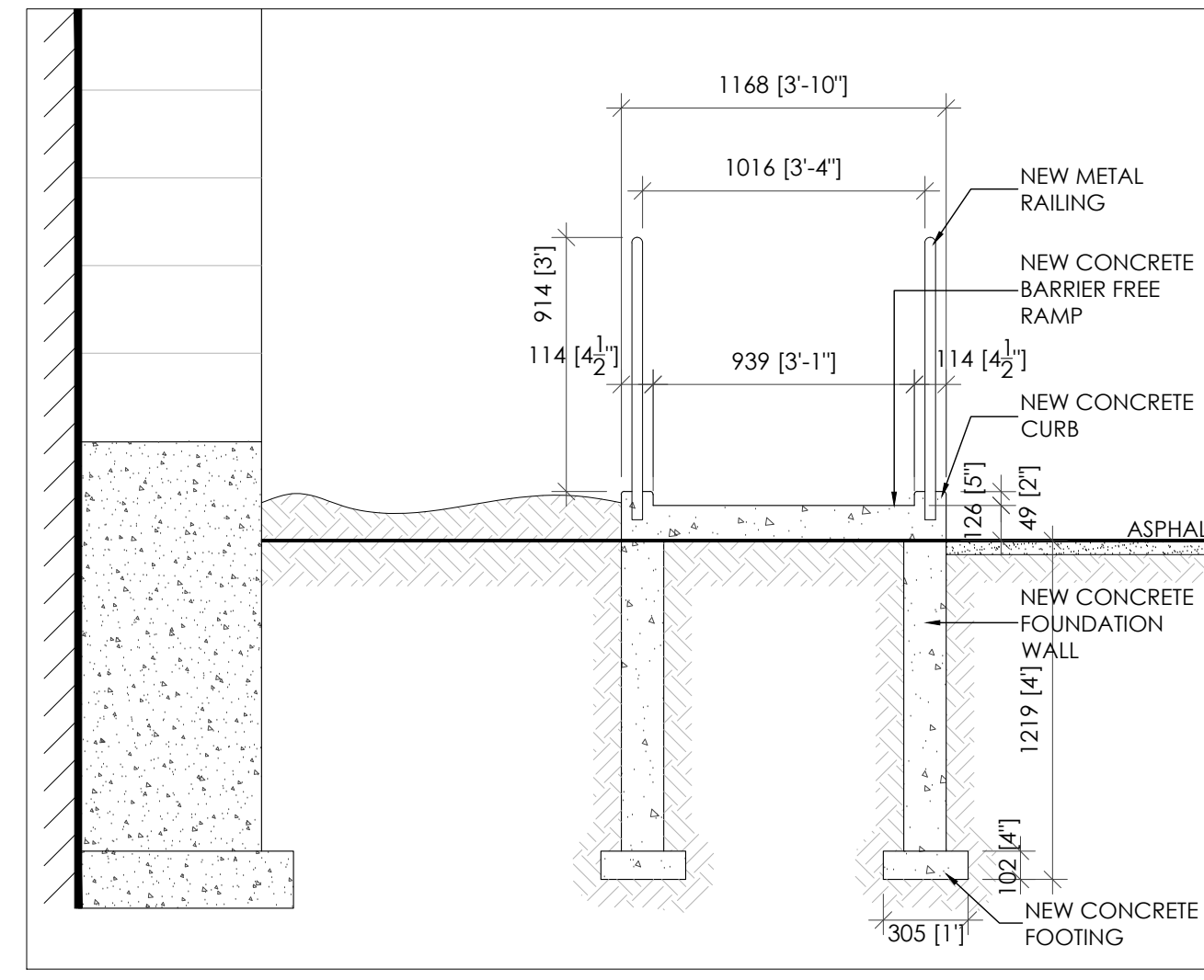
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3 BARRIER FREE RAMP SECTION
SCALE: 1:25



2 BARRIER FREE RAMP SECTION
SCALE: 1:25



4 BARRIER FREE RAMP SECTION
SCALE: 1:25

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Gordon Griffiths 20283
Gordon Griffiths BCIN

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issued for
1 coordination 24.12.2025
2 minor variance 08.01.2026

project

COMMERCIAL
address
1441 Ontario Street,
Burlington, ontario

drawing name
barrier free
ramp- sections

date drawn 22.12.2025
drawn by rb/ eb
checked by gg
file name GG+A 18x24
project no. 25055
scale as noted

drawing no.

SP1.02

PROJECT NAME : PROPOSED PHYSIOTHERAPY CLINIC
(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

LOCATION : 1441 ONTARIO ST, BURLINGTON, ON L7S 1G5

SCOPE OF WORK

INTERIOR ALTERATIONS TO EXISTING UNIT FOR PROPOSED PHYSIOTHERAPY CLINIC FOLLOWED BY THE INSTALLATION OF NEW INTERNAL WALLS AND FINISHES.
PROP. NEW PORCH

UNIT CLASSIFICATION : GROUP-D (BUSINESS AND PERSONAL SERVICES)

Copyright Act Applies to Use and Production

FIRM: <i>Mechways Inc.</i> 6 RIPON STREET, MISSISSAUGA, ON. TEL: 647-786-5940 mechways@gmail.com		PROJECT NAME: (ACT PHYSIOTHERAPY AND HEALTH CLINIC)		PROJECT ADDRESS: 1441 Ontario St, Burlington, ON L7S 1G5		
ITEM	ONTARIO BUILDING CODE 2012 DATA MATRIX PARTS 3 & 9			OBC REFERENCE		
				REFERENCES ARE TO DIVISION B UNLESS NOTED [A] FOR DIVISION A OR [C] FOR DIVISION C.		
1	PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4	<input type="checkbox"/> PART 3 1.1.2. [A]	<input checked="" type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.	
2	MAJOR OCCUPANCY(S) : GROUP-D			3.1.2.6.(1)	9.10.2.	
3	EXIST. BUILDING AREA: 147.32 m ² NEW BUILDING AREA: 143.69 m ²			1.4.1.2. [A]	1.4.1.2. [A]	
4	UNIT AREA : 143.69 m ²			1.4.1.2. [A]	1.4.1.2. [A]	
5	NUMBER OF STOREYS: ABOVE GRADE: 1 BELOW GRADE: 0			1.4.1.2.[A]&3.2.1.1	1.4.1.2.[A]&9.10.4	
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS: 1			3.2.2.10. & 3.2.5.	9.10.20.	
7	BUILDING CLASSIFICATION: GROUP D				9.10.2.	
8	SPRINKLER SYSTEM PROPOSED:	<input type="checkbox"/> ENTIRE BUILDING - EXISTING <input type="checkbox"/> BASEMENT & ABOVE GRADE PARKING STRUCT. <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.20.-.83 3.2.1.5 3.2.2.17	9.10.8.2.	
9	STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9.1	N/A	
10	FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4.1	9.10.18	
11	WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7.	N/A	
12	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6.	N/A	
13	PERMITTED CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH		3.2.2.62.(2)	9.10.6	
	ACTUAL CONSTRUCTION	<input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH				
14	MEZZANINE AREAS:	N/A		3.2.1.1.(3)-(8)	9.10.4.1	
15	OCCUPANT LOAD BASED ON:	<input type="checkbox"/> M ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 10 PERSONS (6 PATRONS + 4 STAFF)		3.1.17.1	9.9.1.3	
16	BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.8.1.1	9.5.2	
17	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2. & 3.3.1.19	9.10.1.3.(4)	
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.49	9.10.8. 9.10.9.	
		FLOORS	N/A			EXISTING TO REMAIN
		ROOF	N/A			EXISTING TO REMAIN
		MEZZANINE	N/A			EXISTING TO REMAIN
		FRR of Supporting Members	LISTED DESIGN NO. OR DESCRIPTION (SG-2)			
		FLOORS	N/A	EXISTING TO REMAIN		
		ROOF	N/A	EXISTING TO REMAIN		
		MEZZANINE	N/A	EXISTING TO REMAIN		
EXIT INFORMATION:						
19.	MINIMUM NUMBER OF EXITS	2		3.4.2.1.(1)	9.9.8.4	
20.	PLUMBING FIXTURE REQUIREMENTS					
OCCUPANT LOAD FOR CALCULATION FOR THE # OF WASHROOM REQUIREMENTS : MALE / FEMALE @ 50% / 50%					OBC REFERENCE	
		OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED	<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9
		10				
		6 PATRONS	3.7.4.7.(1).	1		PROPOSED ONE UNIVERSAL (UNISEX) WASHROOM ASPER 3.8.3.12(1) IS PROVIDED
4 STAFF	3.7.4.7.(1).	1		EXISTING STAFF WASHROOM.		

GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



3	REVISION	NOV 29 2025
2	REVISION	FEB 22 2025
1	ISSUED FOR BUILDING PERMIT	FEB 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 6 RIPON STREET, MISSISSAUGA, ON, L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

ARCHITECT:

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST,
BURLINGTON ST, BARRIE

SHEET TITLE:

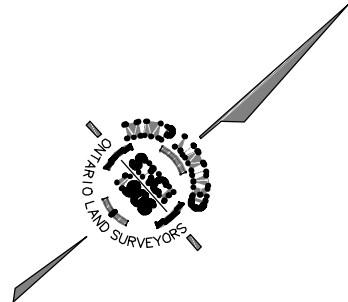
COVER SHEET

CHECKED: TP
DRAWN: MA
SCALE: N/A
DATE: FEB 02 2025

DRAWING:

0-05

Copyright Act Applies to Use and Production



AREA STATISTICS:

UNIT AREA = 143.69 m²
 BUILDING AREA = 143.69 m²
 PORCH = 4.98 m²
 LOT COVERAGE = 29.27%
 EXIST. PARKING TO REMAIN AS IS
 ENTRY/EXIT

GENERAL NOTES:
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SEAL:



NO.	DESCRIPTION	DATE
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3	REVISION	JULY 19 2025
2	REVISION	FEB 22 2025
1	ISSUED FOR BUILDING PERMIT	FEB 02 2025

ENGINEER:

Mechways Inc.
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PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

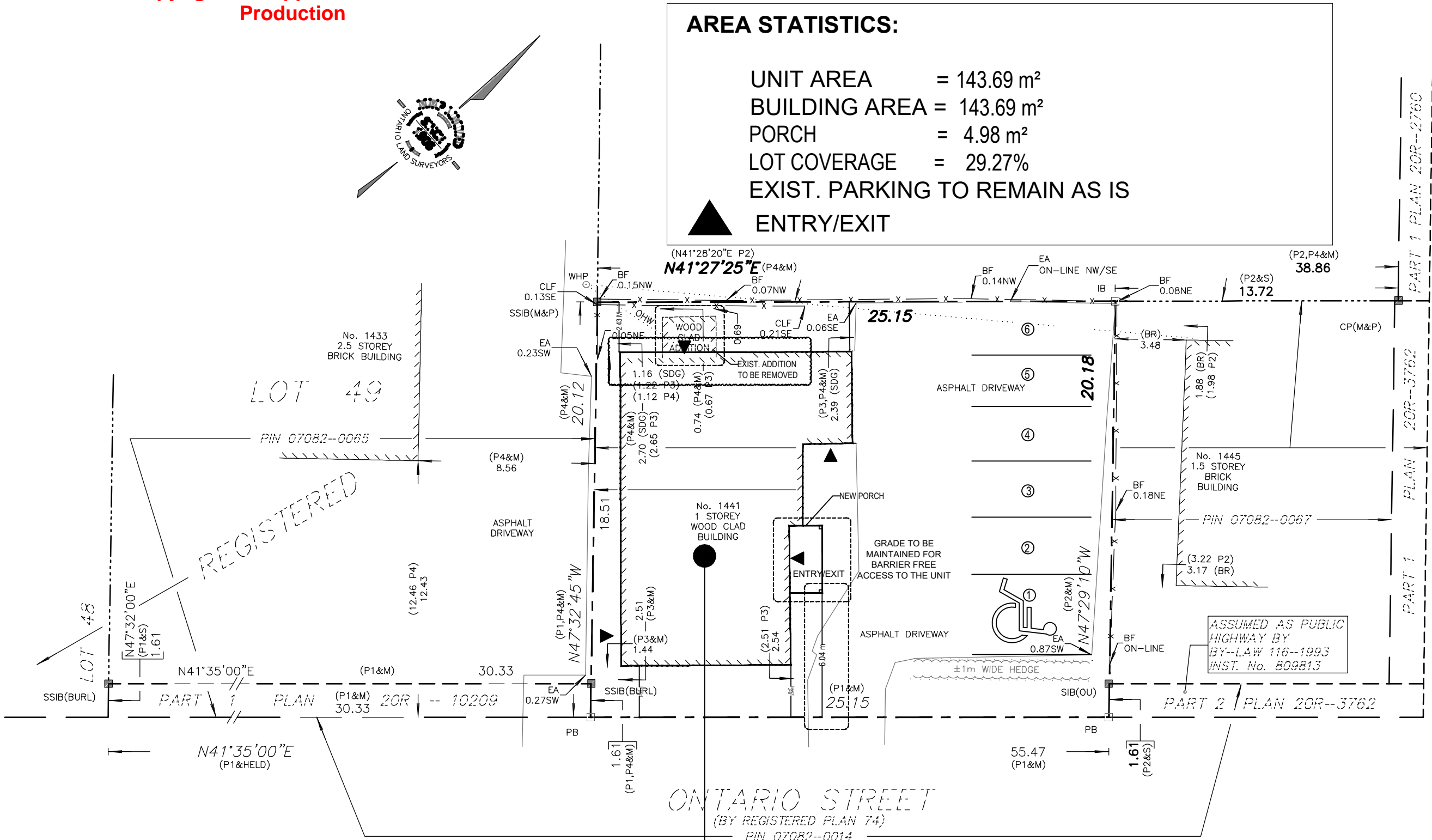
SHEET TITLE:

SITE PLAN

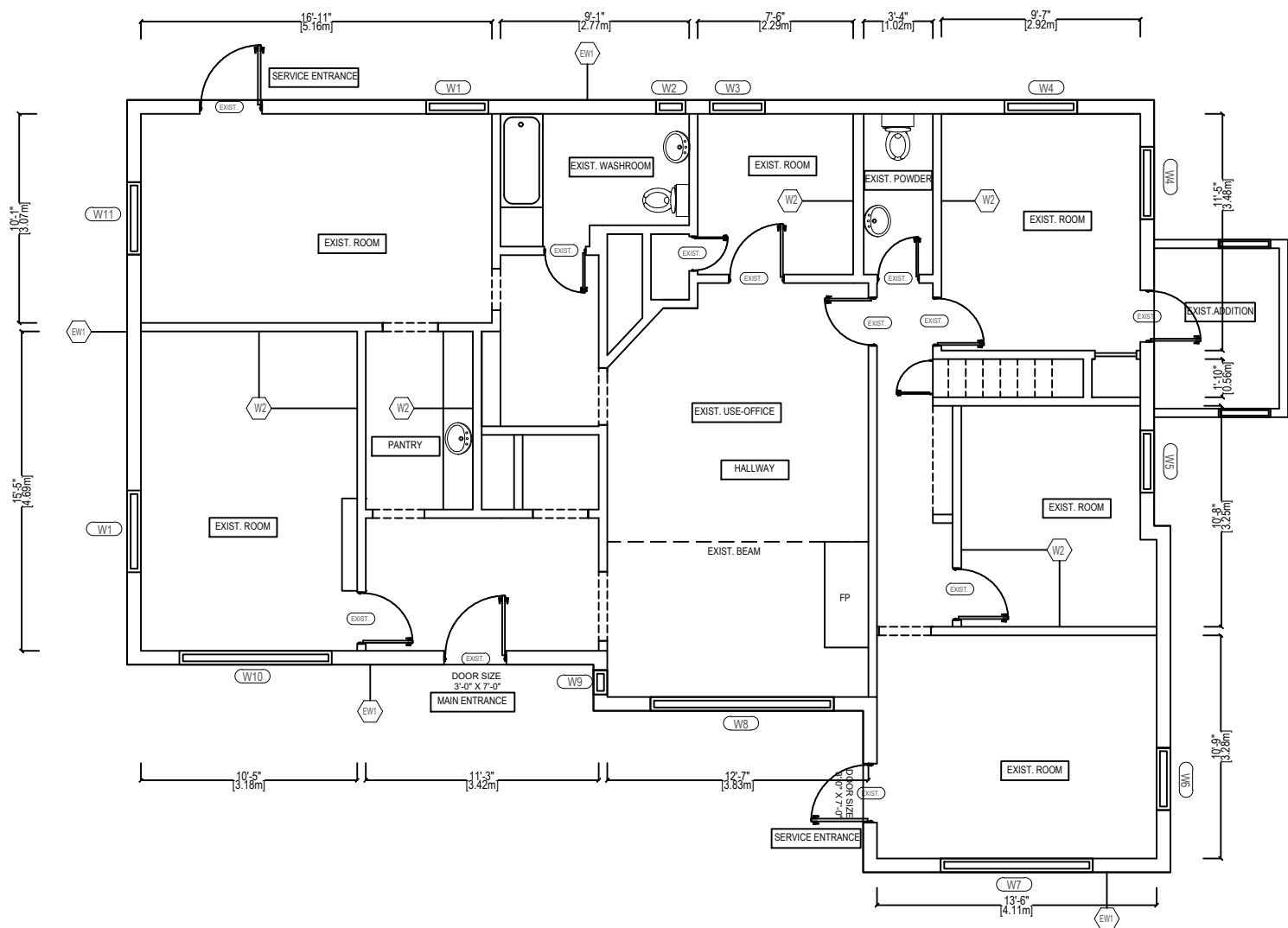
CHECKED: TP
 DRAWN: MA
 SCALE: 1:2250
 DATE: FEB 02 2025

DRAWING:

SP.01



**PHYSIOTHERAPY CLINIC
 AREA: 143.69 SQ M**



1 EXIST. FLOOR PLAN

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GENERAL NOTES

1. FOOT PRINT OF THE UNIT IS TO REMAIN AS IS, NO CHANGE IN THE POSITION OF EXISTING MAIN DOORS & WINDOWS.
2. FOR ALL MECHANICAL & PLUMBING DETAILS, LIKE POSITION OF DUCTS, EXHAUST, WASHROOM PLUMBING REFER TO MECHANICAL & PLUMBING DRAWINGS ATTACHED SEPARATELY.
3. CONTRACTOR TO CHECK, ALL MEASUREMENTS ON SITE BEFORE COMMENCING THE WORK.
4. CONTRACTOR TO NOTIFY THE UNDERSIGNED IN CASE OF ANY DISCREPANCIES.

AREA SUMMARY

UNIT FLOOR AREA = 1585.76 ft² / 147.32 m²
 FINISHED CEILING HEIGHT = 8'-2"
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

EXTERNAL WALL ASSEMBLIES

EXIST. EXTERIOR WALL
 EXISTING EXTERIOR WALL WITH EXISTING ALUMINUM/GLASS STOREFRONT TO REMAIN AS IS

EXIST. INTERIOR PARTITION WALL
 1/2" GYPSUM BOARD ON BOTH SIDE OF 2"x4" STUDS @ 16" O.C. FROM FINISHED FLOOR TILL THE PROPOSED CEILING

DOOR SCHEDULE

DOOR#	LEAF SIZE
EXIST.	EXISTING DOOR AND WINDOW TO REMAIN AS IS

*ALL DOOR SIZES ARE LEAF SIZES ONLY

WINDOW SCHEDULE

WINDOW#	WINDOW SIZE
EXIST.W1	36"x68"
EXIST.W2	17"x58"
EXIST.W3	32"x58"
EXIST.W4	42"x32"
EXIST.W5	36"x44"
EXIST.W6	36"x70"
EXIST.W7	88"x52"
EXIST.W8	108"x48"
EXIST.W9	14"x48"
EXIST.W10	82"x78"
EXIST.W11	42"x68"

*ALL EXIST. WINDOWS TO REMAIN AS IS

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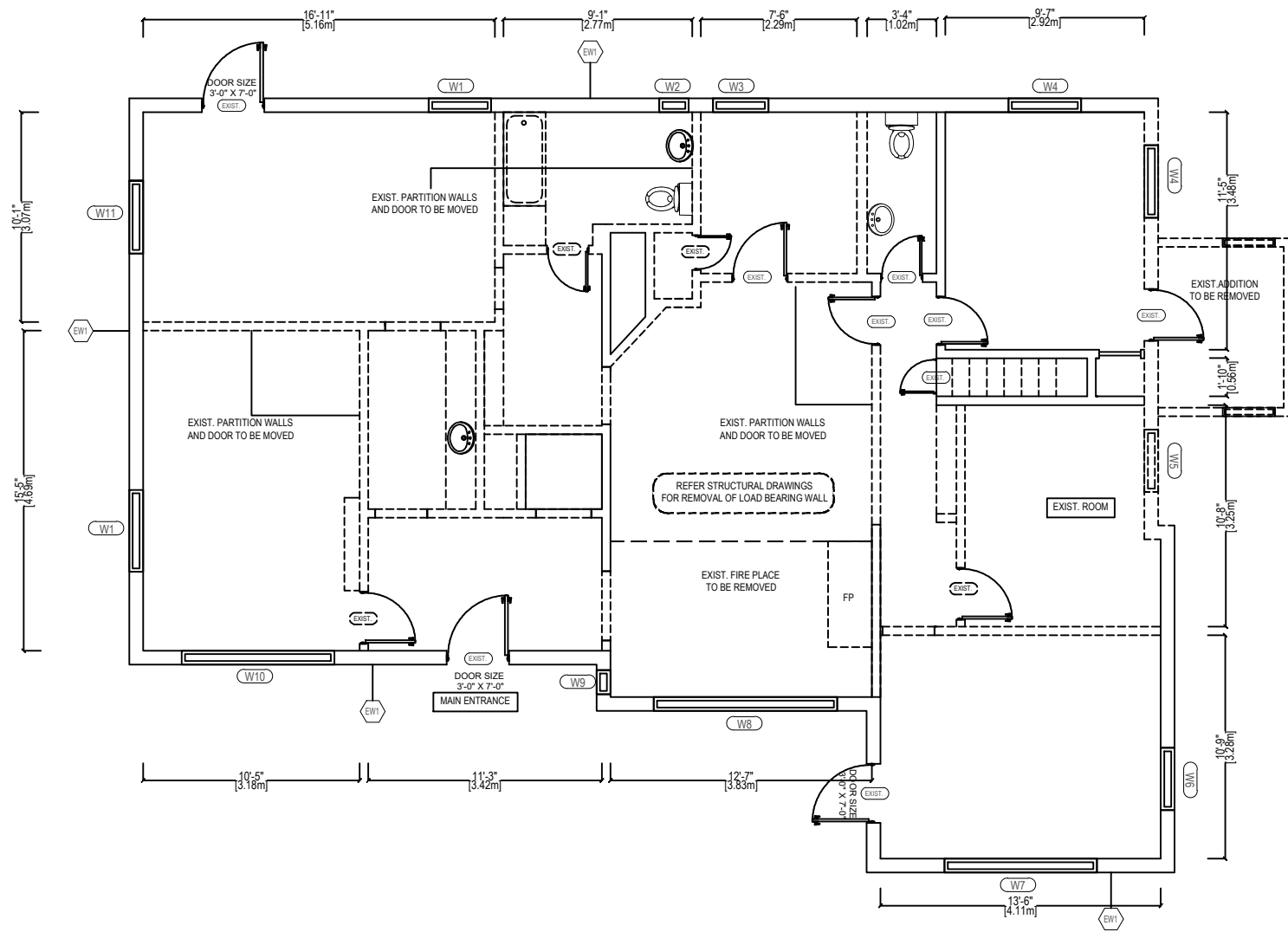
PROJECT:
 (ACT PHYSIOTHERAPY AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:
 EXIST. FLOOR PLAN

CHECKED: TP
 DRAWN: MA
 SCALE: 1/4" = 1'-0"
 DATE: FEB 02 2025

DRAWING:

A1.01



1 DEMOLITION PLAN

GENERAL NOTES

1. FOOT PRINT OF THE UNIT IS TO REMAIN AS IS, NO CHANGE IN THE POSITION OF EXISTING MAIN DOORS & WINDOWS.
2. FOR ALL MECHANICAL & PLUMBING DETAILS, LIKE POSITION OF DUCTS, EXHAUST, WASHROOM PLUMBING REFER TO MECHANICAL & PLUMBING DRAWINGS ATTACHED SEPARATELY.
3. CONTRACTOR TO CHECK, ALL MEASUREMENTS ON SITE BEFORE COMMENCING THE WORK.
4. CONTRACTOR TO NOTIFY THE UNDERSIGNED IN CASE OF ANY DISCREPANCIES.

AREA SUMMARY

UNIT FLOOR AREA = 1585.76 ft² / 147.32 m²
 FINISHED CEILING HEIGHT = 8'-2"
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

WALL ASSEMBLIES

INTERIOR WALL
 EXISTING INTERIOR PARTITION WALL TO BE REMOVED

DOOR SCHEDULE

DOOR#	LEAF SIZE
EXIST.	EXISTING DOOR TO REMAIN AS IS

*ALL DOOR SIZES ARE LEAF SIZES ONLY

GENERAL NOTES:
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ENGINEER:

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 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:

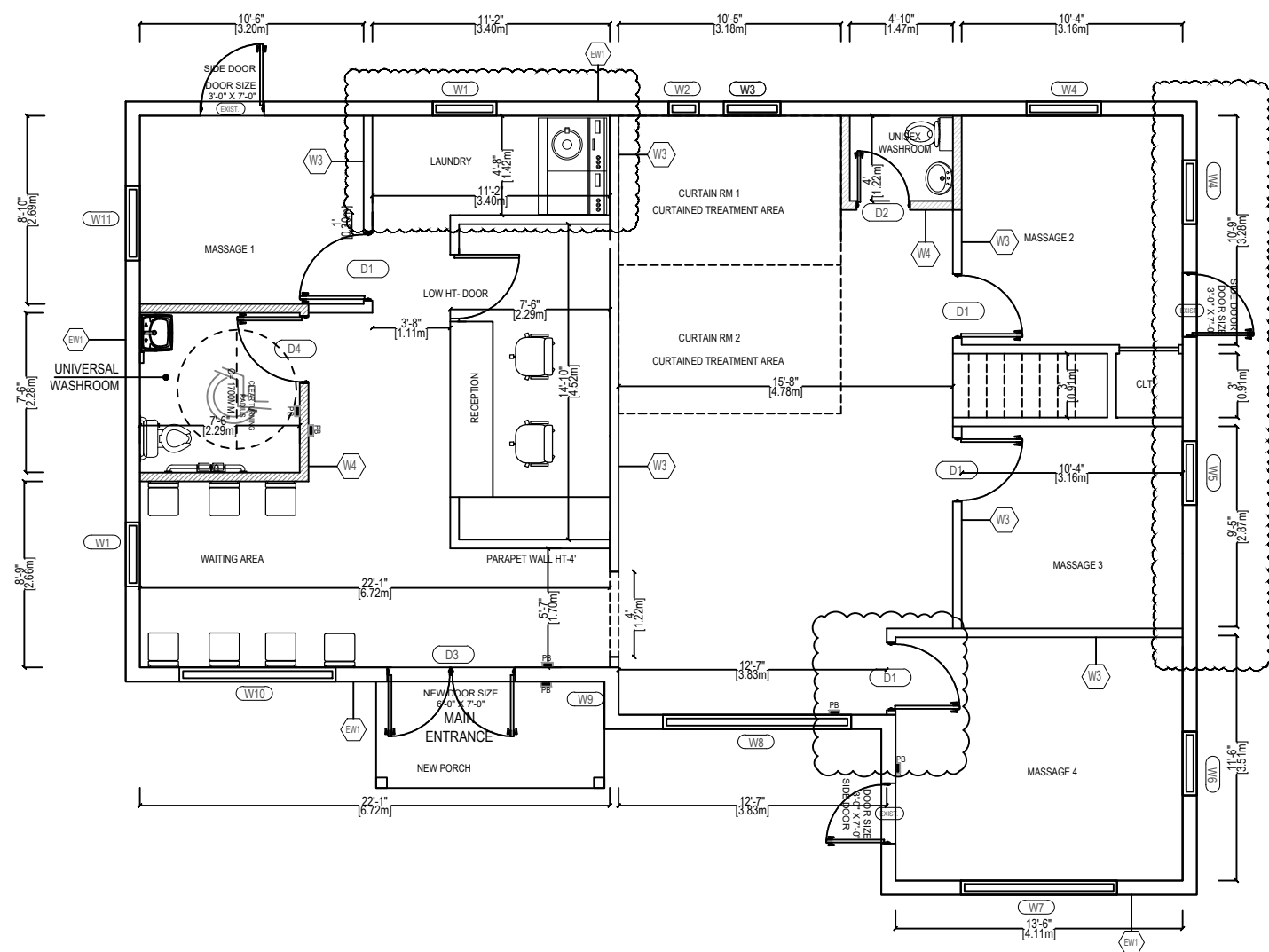
DEMOLITION PLAN

CHECKED: TP
 DRAWN: MA
 SCALE: 1/4" = 1'-0"
 DATE: FEB 02 2025

DRAWING:

A1.02

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1 PROP. FLOOR PLAN

Copyright Act Applies to Use and Production

GENERAL NOTES

1. FOOT PRINT OF THE UNIT IS TO REMAIN AS IS, NO CHANGE IN THE POSITION OF EXISTING MAIN DOORS & WINDOWS.
2. FOR ALL MECHANICAL & PLUMBING DETAILS, LIKE POSITION OF DUCTS, EXHAUST, WASHROOM PLUMBING REFER TO MECHANICAL & PLUMBING DRAWINGS ATTACHED SEPARATELY.
3. CONTRACTOR TO CHECK, ALL MEASUREMENTS ON SITE BEFORE COMMENCING THE WORK.
4. CONTRACTOR TO NOTIFY THE UNDERSIGNED IN CASE OF ANY DISCREPANCIES.

AREA SUMMARY

UNIT FLOOR AREA = 1546.67 ft² / 143.69 m²
 FINISHED CEILING HEIGHT = 8'-2"
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

EXTERNAL WALL ASSEMBLIES

- EW1 **EXIST. EXTERIOR WALL**
EXISTING EXTERIOR WALL WITH EXISTING ALUMINUM/GLASS STOREFRONT TO REMAIN AS IS
- EW2 **EXIST. INTERIOR PARTITION WALL**
1/2" GYPSUM BOARD ON BOTH SIDE OF 2"x4" WOOD STUDS @ 16" O.C. FROM FINISHED FLOOR TILL THE PROPOSED CEILING
- EW3 **PROP. INTERIOR PARTITION WALL**
1/2" GYPSUM BOARD ON BOTH SIDE OF 3-5/8" STEEL STUDS @ 16" O.C. FROM FINISHED FLOOR TO 6" ABOVE THE CEILING. INTERNAL SIDE OF WASH AREA TO BE FINISHED WITH WATERPROOF GYPSUM BOARD. PAINT FINISH TO BE SELECTED AS PER OWNER'S CHOICE.
- EW4 **PROP. INTERIOR WALL**
1/2" GYPSUM BOARD ON BOTH SIDE OF 3-5/8" STEEL STUDS @ 16" O.C. FROM FINISHED FLOOR TO THE CEILING. INTERNAL SIDE OF WASHROOM AREA AND WASH AREA TO BE FINISHED WITH WATERPROOF GYPSUM BOARD. INSTALL SOUND INSULATION (MIN. 3/4" THICK) FULL HEIGHT OF WALL IN ALL WASHROOM WALLS (TYP.) PAINT FINISH TO BE SELECTED AS PER OWNER'S CHOICE.

DOOR SCHEDULE

DOOR#	LEAF SIZE
EXIST.	EXISTING DOOR AND WINDOW TO REMAIN AS IS

*ALL DOOR SIZES ARE LEAF SIZES ONLY

WINDOW SCHEDULE

WINDOW#	EXIST. WINDOW SIZE	NEW WINDOW SIZE
W1	36"x68"	36"x68"
W2	17"x58"	17"x58"
W3	32"x58"	32"x58"
W4	42"x32"	42"x32"
W5	36"x44"	36"x72"
W6	36"x70"	36"x72"
W7	88"x52"	88"x52"
W8	108"x48"	108"x48"
W9	14"x48"	EXIST. WINDOW WILL BE CLOSE
W10	82"x78"	82"x72"
W11	42"x68"	36"x72"
W12		36"x72"

PB POWER DOOR OPERATOR BUTTON TO KEPT 1000MM FROM THE FINISHED FLOOR (TO COMPLY WITH 3.8.3.12 (2) (B))

DOOR SCHEDULE

DOOR#	WIDTH	HT	DESCRIPTION
D1	3'-2"	7'-0"	SOLID CORE WOODEN SWING DOOR UNDER CUT 1/2".
D2	2'-6"	7'-0"	SOLID CORE WOODEN SWING DOOR UNDER CUT 1/2".
D3	6'-0"	7'-0"	EXTERIOR GLASS DOOR
D4	3'-2"	7'-0"	SOLID CORE WOODEN SWING DOOR UNDER CUT 1/2" EQUIPPED WITH POWER DOOR OPERATOR BUTTON

*ALL DOOR SIZES ARE LEAF SIZES ONLY

EXIST. EXISTING DOOR TO REMAIN AS IS

WALL NOTES

1. PROVIDE EXTRA PLYWOOD BLOCKING IN WALLS FOR MILLWORK AND ALL BUILT INS. PROVIDE BLOCKING FOR ALL WASHROOM EQUIPMENTS INSTALLATION AS SHOWN IN WASHROOM DETAILS.
2. FOR PLUMBING OR ELECTRICAL DISTRIBUTION.
3. ALL EXPOSED WALL CORNERS IN KITCHEN AREA TO HAVE S.S EDGES WRAPPING AROUND FROM F.F. TO CEILING HEIGHT. TYPICAL FOR ALL.
4. ALL KITCHEN WALLS TO BE FINISHED WHITE FRP
5. EXISTING DOOR & HARDWARE TO REMAIN.
6. EXISTING EXTERIOR WALLS TO REMAIN. REPAINT TO MAKE GOOD
7. USE DEFLECTION TRACK WHEN CONNECTING STEEL STUD WALL TO THE ROOF.

BARRIER-FREE NOTES

PB DOOR TO BE EQUIPPED WITH POWER DOOR OPERATOR. PROPOSED POWER DOOR OPERATOR BUTTON TO KEPT 1000MM FROM THE FINISHED FLOOR AND MIN. 610MM FROM DOOR LATCH ON LATCH SIDE OF THE DOOR (TO COMPLY WITH 3.8.3.12 (2) (B))

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1	ISSUED FOR BUILDING PERMIT	FEB 02 2025

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RYDEN STREET, MISSISSAUGA, ON, L4T 1B2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST, BURLINGTON ST, BARRIE

SHEET TITLE:

PROP. FLOOR PLAN

CHECKED: TP

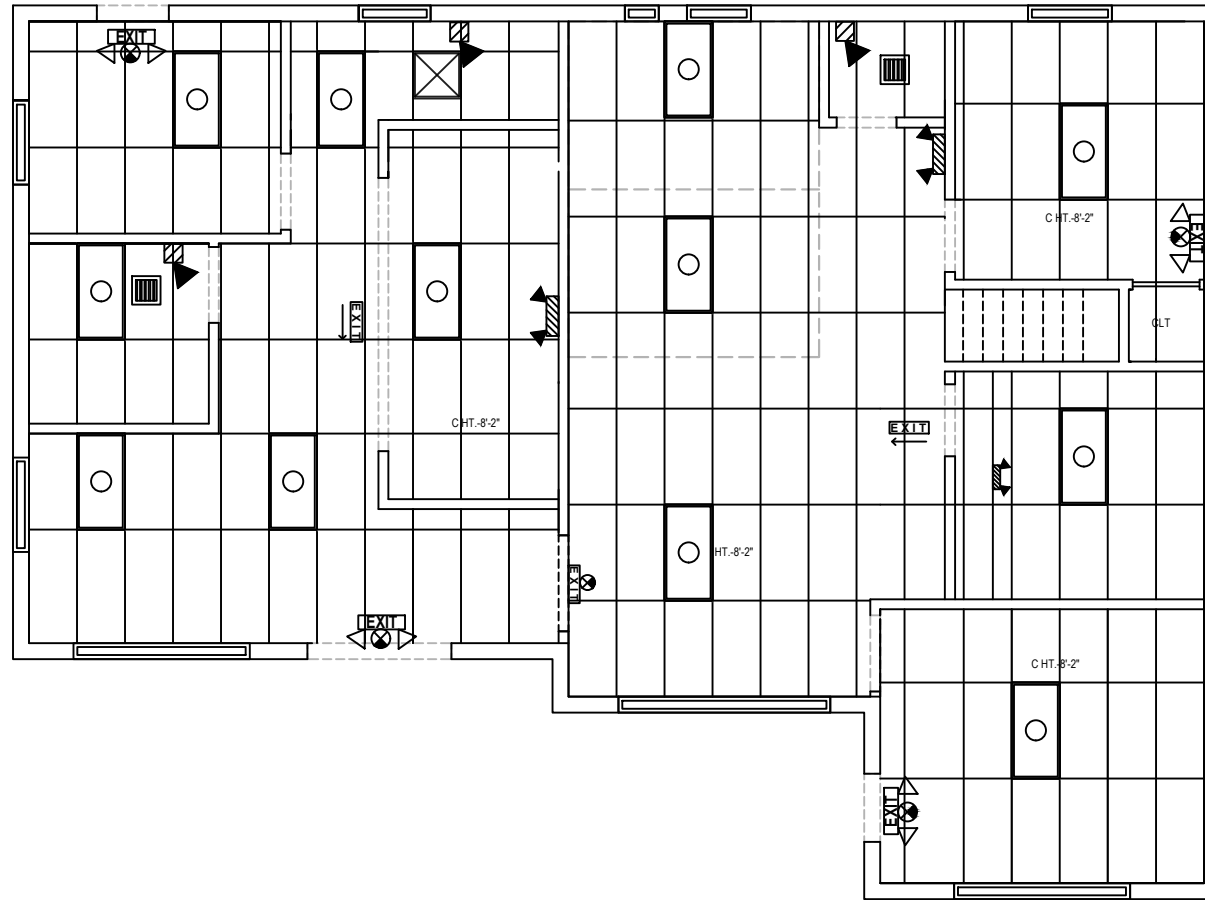
DRAWN: MA

SCALE: 1/4" = 1'-0"

DATE: FEB 02 2025

DRAWING:

A1.03



1 REFLECTED CEILING PLAN






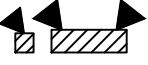




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NOTE:
REFER TO MECHANICAL DRAWING FOR ALL
DIFFUSER AND RAG LOCATIONS

REFER TO ELECTRICAL DRAWINGS FOR ALL
EXISTING, REMOVED, RELOCATED AND NEW LIGHT
FIXTURES THROUGHOUT THE UNIT

PLAN TO READ IN CONJUNCTION WITH MECHANICAL
AND ELECTRICAL DRAWINGS

RCP LEGEND

-  PROP. SUSPENDED NON-COMBUSTIBLE ACOUSTICAL CEILING WITH 4'-0" X 2'-0" DROP CEILING TILES
-  PROPOSED 4 FT. X 2 FT. LIGHT FIXTURES WITHIN CEILING
-  2 FT. X 2 FT. LED LIGHT FIXTURE WITHIN CEILING
-  PROPOSED DIFFUSER WITHIN CEILING TILE (REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION)
-  PROPOSED EXHAUST FAN WITHIN CEILING TILE (REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION)
-  SINGLE REMOTE LED LAMP HEAD. EMERGENCY LIGHTS INTERCONNECTED. CEILING OR WALL MOUNTED TO SUIT
-  GREEN PICTOGRAM WITH WHITE GRAPHIC SYMBOL. EXIT SIGN WITH EMERGENCY BATTERY BACKUP LIGHT
-  GREEN PICTOGRAM WITH WHITE GRAPHIC DIRECTIONAL SYMBOL
-  TRACK LIGHTS
-  EXIST. GYPSUM BOARD CEILING

NOTE:
PLEASE REFER TO MECHANICAL DRAWING
FOR ALL DIFFUSER AND RAG LOCATIONS

GENERAL NOTES:
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CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND BE RESPONSIBLE FOR THE SAME.
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ENGINEER:



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TEL : 416-627-4100
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PROJECT:

(ACT PHYSIOTHERAPY
AND HEALTH CLINIC)

1441 ONTARIO ST,
BURLINGTON ST, BARRIE

SHEET TITLE:

REFLECTED CEILING
PLAN

CHECKED: TP

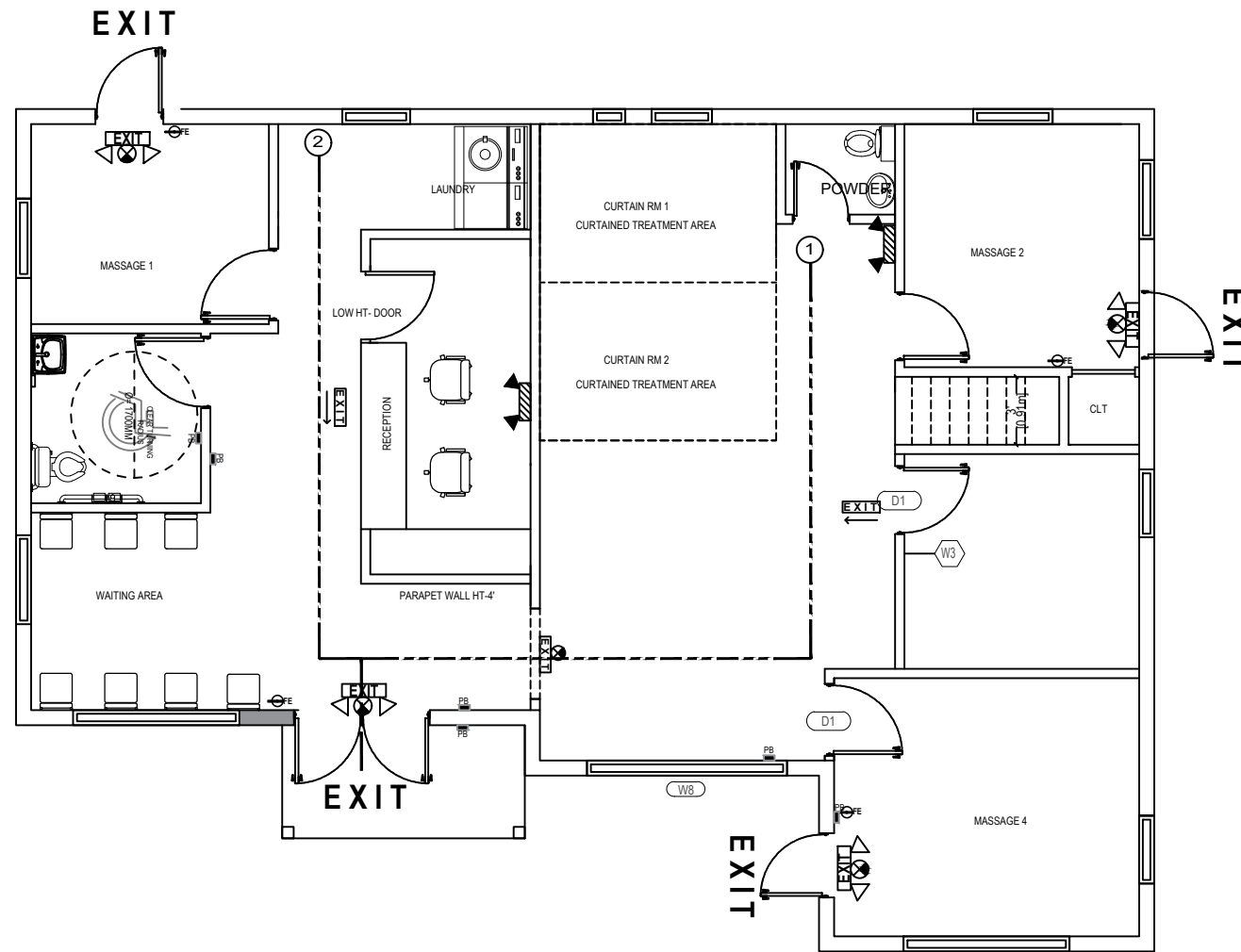
DRAWN: MA

SCALE: 1/8" = 1'-0"

DATE: FEB 02 2025

DRAWING:

A1.04



1 LIFE AND SAFETY PLAN

UNIT CLASSIFICATION	
GROUP D, BUSINESS & PERSONAL SERVICES (O.B.C 3.1.2.1)	
AREA SUMMARY	
UNIT FLOOR AREA	= 1546.67 ft ² / 143.69 m ²
FINISHED CEILING HEIGHT	= 8'-2"
CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS	
OCCUPANT LOAD	
TOTAL OCCUPANCY LOAD WITHIN UNIT = 10	
STAFF = 4 + PATRONS = 6	
LIFE SAFETY PLAN LEGENDS	
	EGRESS ROUTE START POINT
	EGRESS ROUTE DIRECTION
	SINGLE OR DOUBLE REMOTE LED LAMP HEAD, EMERGENCY LIGHTS INTERCONNECTED, CEILING OR WALL MOUNTED TO SUIT
	GREEN PICTOGRAM WITH WHITE GRAPHIC SYMBOL, EXIT SIGN WITH EMERGENCY BATTERY BACKUP LIGHT
	GREEN PICTOGRAM WITH WHITE GRAPHIC DIRECTIONAL SYMBOL
	FIRE EXTINGUISHER UL RATED GENERAL PURPOSE WALL MOUNTED FIRE EXTINGUISHER (FE). COORD WITH FIRE PROTECTION NOTES ON SPECIFICATION SHEET. CONFIRM LOCATION IN FIELD WITH BUILDING OFFICIAL.
TRAVEL DISTANCE TO THE NEAREST EXIT	
①	TRAVEL DISTANCE = 42'-3 (12.87M)*
②	TRAVEL DISTANCE = 29' (8.83 M)*
NOTE:	
1. ALLOWABLE TRAVEL DISTANCE TO NEAREST EXIT AS PER OBC 3.4.2.5(1)(c) IS 45M (MAX)	
2. EMERGENCY LIGHTING SHALL BE PROVIDED IN ALL EXITS, PRINCIPAL ROUTES PROVIDING ACCESS TO EXIT IN AN OPEN FLOOR AREA, CORRIDORS USED BY THE PUBLIC AND FURTHER SPECIFIED IN OBC DIVISION B, 3.2.7.	
3. EXIT SIGNS SHALL BE PLACED OVER OR ADJACENT TO EXIT DOORS, WHERE REQUIRED, IN CONFORMANCE WITH OBC DIVISION B, 3.4.5.	
4. ALL EXITS/EGRESS SHALL BE CLEAR AND VISIBLE AT ENTRANCE.	

Copyright Act Applies to Use and Production

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PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST,
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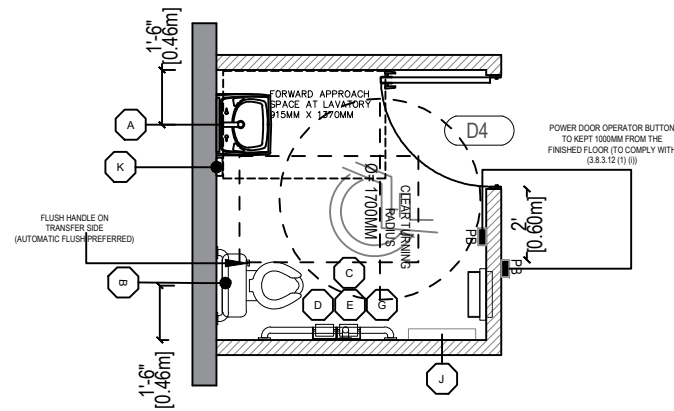
SHEET TITLE:

LIFE AND SAFETY PLAN

CHECKED: TP
DRAWN: MA
SCALE: 3/32" = 1'-0"
DATE: FEB 02 2025

DRAWING:

A1.05



BARRIER FREE WASHROOM DETAILS
SCALE: 1/4" = 1'-0"
NOTE: ALL HEIGHTS & DIMENSIONS TO COMPLY WITH OBC SECTION 3.8.3.8 & 3.8.3.9 & 3.8.3.11 FOR WATER CLOSET, FAUCETS AND FAUCET HANDLES, TOILET PAPER DISPENSER & LAVATORY (TYP.)

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TOILET ROOM GENERAL NOTES:

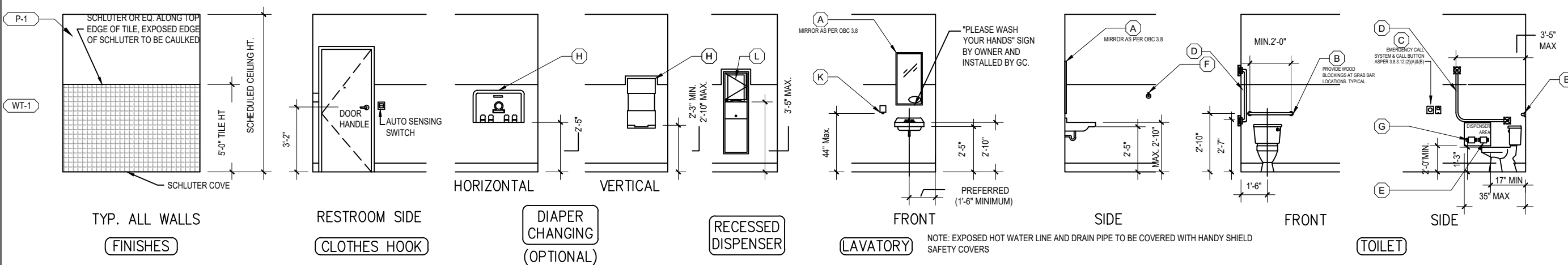
1. PROVIDE FIRE RETARDANT TREATED (F.R.T.) WOOD BLOCKING IN WALLS AT TOILET PARTITIONS, GRAB BARS, ETC. AS REQUIRED PER MFR'S RECOMMENDATIONS.
2. COORDINATE PLUMBING FIXTURE TYPES AND FLOOR DRAINS (FD) AND INSTALLATION PROCEDURES WITH APPROVED PLUMBING DRAWINGS.
3. INSTALL SOUND ATTENUATION/BATT INSULATION (MIN 3/2" THICK-FULL HT OF WALL) IN ALL TOILET ROOM WALLS (TYP).
4. ACCESSIBLE TOILET FIXTURES AND INSTALLATION SHALL CONFORM TO O.B.C. # 3.8.3.12.
5. ACCESSIBLE COMPLIANT LAVATORIES SHALL HAVE INSULATED DRAIN PIPES AND HOT WATER PIPES PER ACCESSIBLE GUIDELINES.
6. ALL ACCESSORIES SHALL BE MOUNTED PER THE MANUFACTURER'S RECOMMENDATIONS AND TO COMPLY WITH O.B.C. # 3.8.3.12.
7. ALL ACCESSORIES INSTALLATION HEIGHTS TO COMPLY WITH O.B.C. # 3.8.3.11 AND ACCESSIBILITY AMENDMENTS ONTARIO REGULATION 368/13
8. WASHROOM TO BE PROVIDED WITH A LIGHTING CONTROLLED BY MOTION SENSOR
9. PROVIDE NEW PLUMBING FIXTURES, GRAB BARS, VANITIES, ACCESSORIES, TRASH
10. MIRROR TO MEET BUILDING CODE REQUIREMENTS FOR WASHROOMS.
11. PROVIDE WASHROOM SIGNS WITH ACCESSIBLE SYMBOL TO WASHROOM DOORS.
12. FOR BARRIER FREE WASHROOM PROVIDE PUSH BUTTON WITH POWER OPERATED DOOR

TOILET ROOM ACCESSORIES:

- (A) SURFACE MOUNTED 18" WIDE X 36" HIGH STAINLESS STEEL FRAMED MIRROR
- MOUNTING HT: BOTTOM EDGE OF REFLECTIVE SURFACE AT 40" (MAX) AFF.
 - (B) SURFACE MOUNTED 24" LONG X 1-1/4" DIA GRAB BAR WITH PEENED SURFACE
- MOUNTING HT: 6" ABOVE TANK OF WC
 - (C) EMERGENCY CALL SYSTEM THAT CONSISTS OF AUDIBLE AND VISUAL SIGNAL DEVICES INSIDE AND OUTSIDE OF THE WASHROOM THAT ARE ACTIVATED BY A CONTROL DEVICE INSIDE THE WASHROOM
EMERGENCY SIGN THAT CONTAINS THE WORDS "IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE" IN LETTERS AT LEAST 25 MM HIGH WITH A 5 MM STROKE AND THAT IS POSTED ABOVE THE MUSHROOM EMERGENCY BUTTON (I.E. PRESS FOR EMERGENCY ASSISTANCE) (3.8.3.12.(1)(A)).
 - (D) SURFACE MOUNTED (L-SHAPE) 2'-6" LONG X 1-1/4" DIA GRAB BAR WITH PEENED SURFACE
- MOUNTING HT: 30" AFF TO CENTERLINE OF BOTTOM BAR;
- VERTICAL BAR MOUNTED MAX. 6" IN FRONT OF WATER CLOSET
- GC TO SUPPLY SPACER FOR END OF GRAB BAR NOT MOUNTED TO TILE
 - (E) SURFACE MOUNTED SINGLE ROLL TOILET TISSUE DISPENSER
- MOUNTING HT: 24"-32" AFF TO ROLL CL.
- MOUNTING LOCATION: CLOSEST EDGE OF DISPENSER SHALL BE 12" FROM THE FRONT OF THE W.C. SEAT.
 - (F) SURFACE MOUNTED CLOTHES/HAT HOOK W/ CONCEALED MOUNTING FLANGE
- MOUNTING HT: 3'-11" TO HOOK AT BACK OF DOOR
- HOOK SHALL PROJECT NOT MORE THAN 2"
 - (G) SURFACE MOUNTED FEMININE NAPKIN DISPOSAL (WOMENS ONLY)
- MOUNTING HT: ALIGN WITH TOP OF TOILET TISSUE DISPENSER
 - (J) NOT USED
 - (K) SURFACE MOUNTED SOAP DISPENSER PROVIDED BY SMALLWARES VENDOR AND INSTALLED BY GENERAL CONTRACTOR MOUNT WITHIN 20" OF THE FRONT OF THE LAVATORY
 - (L) RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
- PAPER TOWEL DISPENSER TO BE MOUNTED AT 48" AFF
 - (P-1) WATER BASED PAINT AS PER OWNER'S CHOICE
 - (WT-1) CERAMIC WALL TILES FOR WASHROOM WALLS UPTO 5' AFF AS PER OWNER'S CHOICE
- * WASHROOM TO HAVE SENSOR LIGHTING

TYPICAL TOILET ROOM ELEVATIONS

SCALE: N.T.S



GENERAL NOTES:
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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	NOV 29 2025
2	REVISION	FEB 22 2025
1	ISSUED FOR BUILDING PERMIT	FEB 02 2025

ENGINEER:



ADDRESS : 6 RIFON STREET, MISSISSAUGA, ON, L4T 1E2
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST, BURLINGTON ST, BARRIE

SHEET TITLE:

UNIVERSAL WASHROOM PLAN

CHECKED: TP

DRAWN: MA

SCALE: 1/4" = 1'-0"

DATE: FEB 02 2025

DRAWING:

A1.06

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FRONT ELEVATION

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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	NOV 29 2025
1	ISSUED FOR BUILDING PERMIT	APR 16 2025

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RIPON STREET, MISSISSAUGA,
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 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY
 AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:

FRONT ELEVATION

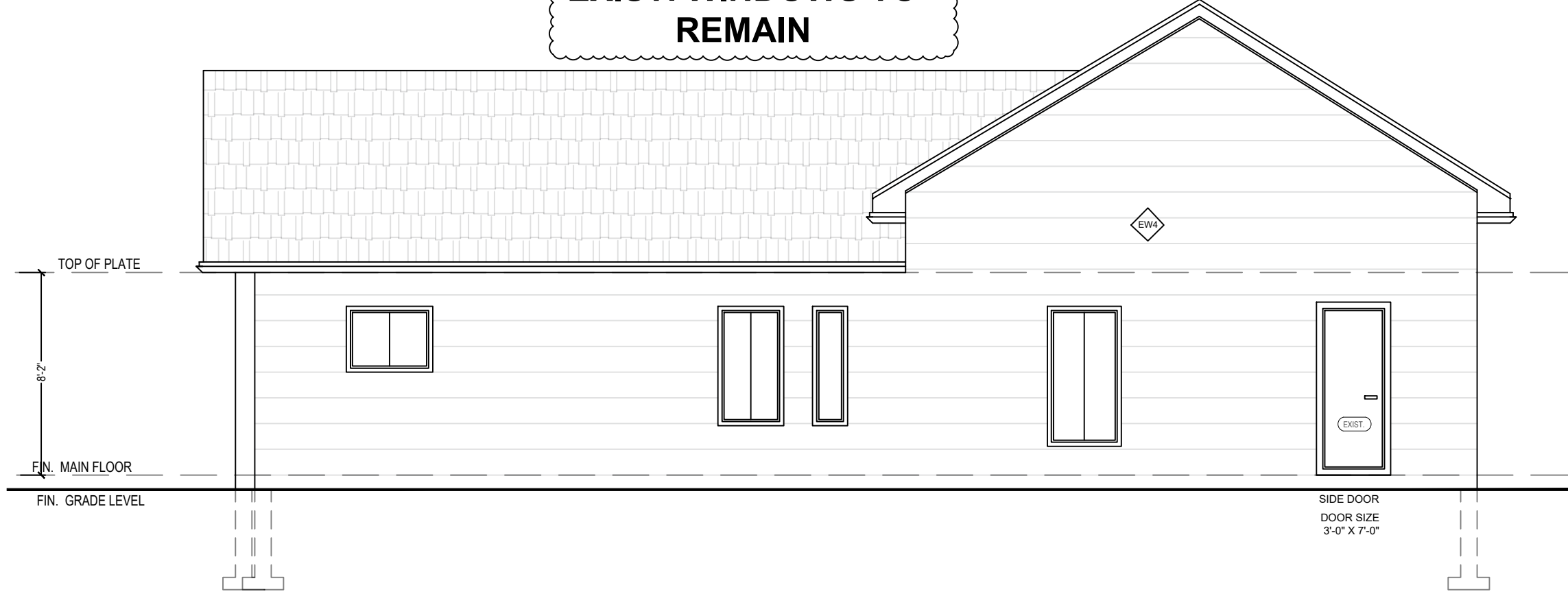
CHECKED: TP
 DRAWN: MA
 SCALE: $\frac{3}{8}'' = 1'$
 DATE: FEB 02 2025

DRAWING:

A2.01

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EXIST. WINDOWS TO REMAIN



REAR ELEVATION

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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	NOV 29 2025
2	REVISION	JULY 19 2025
1	ISSUED FOR BUILDING PERMIT	APR 16 2025

ENGINEER:

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 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:

REAR ELEVATION

CHECKED: TP
 DRAWN: MA
 SCALE: 3/8" = 1'
 DATE: FEB 02 2025

DRAWING:

A2.02

Copyright Act Applies to Use and Production

SPATIAL AREA CALCULATION

TOTAL WALL AREA = 408.10 ft² / 37.91 m²
 LIMITING DISTANCE = 2.39 m
 MAXIMUM ALLOWABLE GLAZED AREA @ 12% = 48.97 ft² / 4.54 m²
 TOTAL GLAZED AREA ABOVE GRADE = 33.89 ft² / 3.14 m²



RIGHT SIDE ELEVATION

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2	REVISION	JULY 19 2025
	ISSUED FOR BUILDING PERMIT	APR 16 2025

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PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:

RIGHT SIDE ELEVATION

CHECKED: TP
 DRAWN: MA
 SCALE: 1/4" = 1'
 DATE: FEB 02 2025

DRAWING:

A2.03

SPATIAL AREA CALCULATION

TOTAL WALL AREA	= 315.51 ft ² / 29.31 m ²
LIMITING DISTANCE	= 2.51 m
MAXIMUM ALLOWABLE GLAZED AREA @ 19%	= 51.94 ft ² / 5.56 m ²
TOTAL GLAZED AREA ABOVE GRADE	= 24.24 ft ² / 2.25 m ²

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PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)
 1441 ONTARIO ST,
 BURLINGTON ST, BARRIE

SHEET TITLE:

LEFT SIDE
ELEVATION

CHECKED: TP
 DRAWN: MA
 SCALE: 1/4" = 1'
 DATE: FEB 02 2025

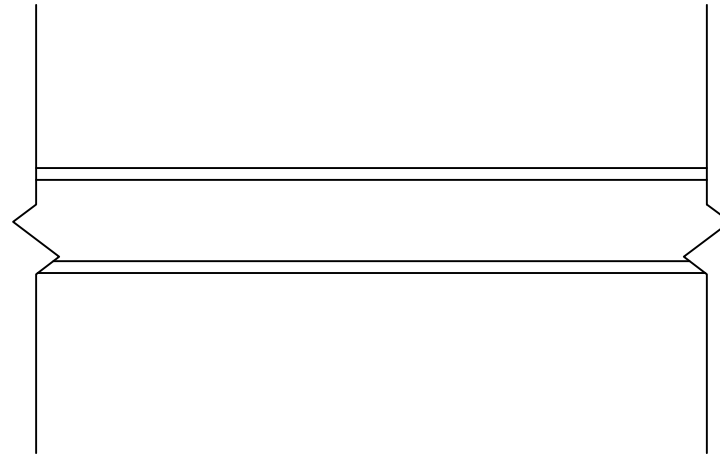
DRAWING:

A2.04



LEFT SIDE ELEVATION

EW4



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SIDING WALL CONSTRUCTION

- PREP SIDING VENEER AS PER MANUFACTURER
- TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER)
- 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING 38 MM X 120MM (1 1/2" X 5- 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS
- 6MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM(1/2") GYPSUM WALL BOARD INRERIOR FINISH

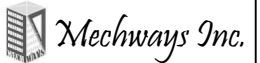
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PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST, BURLINGTON ST, BARRIE

SHEET TITLE:

ASSEMBLY SCHEDULE

CHECKED: TP
 DRAWN: MA
 SCALE: NA
 DATE: FEB 02 2025

DRAWING:

A3.1

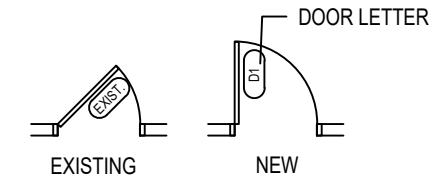
GENERAL INSTRUCTIONS AND SPECIFICATIONS FOR ALL CONTRACTOR(S)

1. ALL WORK SHALL BE ACCORDANCE WITH THE LATEST AND CURRENT ISSUE OF THE ONTARIO BUILDING CODES (OBC)2012 ,ONTARIO FIRE CODE (OFC), NATIONAL BUILDING CODES (NBC) AND/OR ANY LAWS, RULES AND/OR REGULATIONS (LOCAL, MUNICIPAL, PROVINCIAL AND /OR FEDERAL) AS ISSUED BY ANY AUTHORITY HAVING JURISDICTION.
2. ALL CONTRACTORS SHALL BE IN A GOOD STANDING WITH THE WORKMEN'S COMPENSATION BOARD HAVING JURISDICTION.
3. EXCEPT AS PROVIDED AND/OR SPECIFIED OTHERWISE, ALL CONTRACTORS SHALL APPLY FOR, OBTAIN AND COMPLY WITH ANY APPLICABLE DEMOLITION, BUILDING,AND/OR ANY OTHER PERMITS, APPROVALS AND/OR INSPECTIONS AND MAY BE NECESSARY.
4. ALL CONTRACTORS SHALL VERIFY THE SITE CONDITIONS AND/OR DIMENSIONS, RELEVANT TO THEIR AREA OF EXPERTISE, AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES AND/OR AREA OF POTENTIAL CONCERNS, PRIOR TO COMMENCING ANY DEMOLITION AND/OR CONSTRUCTION, FOR CLARIFICATION AND/OR ADDITIONAL INSTRUCTIONS.
5. THE SITE SHALL BE KEPT IN CLEAN AND SAFE CONDITION AS PER GOVERNMENT RULES AND/OR REGULATIONS. ALL THE DEBRIS GENERATED BY CONTRACTORS, AS THE PART OF THIS CONTRACT SHALL BE REMOVED FROM SITE AT THE END OF EACH WORKDAY, AND DISPOSED OF IN AN ENVIRONMENTAL ACCEPTABLE AND APPROVED MANNER.
6. REFER TO INTERIOR DESIGNER DRAWINGS FOR ACCURATE DIMENSIONS.
7. REFER TO ARCHITECTS'S AND/OR STRUCTURAL ENGINEER'S DRAWINGS FOR ANY SPECIFIC REQUIREMENT RELATING TO THOSE DISCIPLINES.
8. REFER TO ELECTRICAL'S AND/OR MECHANICAL ENGINEER'S DRAWINGS FOR ANY SPECIFIC REQUIREMENT RELATING TO THOSE DISCIPLINES.
9. ALL INDIVIDUALS CONTRACTORS AND/OR TRADESMEN ARE RESPONSIBLE FOR THE FINAL PREPARATIONS OF ANY SURFACE THAT THEY ARE RESPONSIBLE FOR THE FINISHING, READY TO ACCEPT THE SPECIFIED FINISH.
10. THE GENERAL CONTRACTOR SHALL TURN OVER THE COMPLETE SPACE TO THE TENANT IN A 'SWEPT- CLEAN' CONDITION. ALL THE FINAL CLEANING TO THEIR OPERATIONAL STANDARDS SHALL BE THE RESPONSIBILITY OF THE TENANT.
11. A. CUT OUT AND REMOVE ANY EXISTING 'HEAVED' AND OR UNEVEN FLOOR AREA, AS WELL AS ANY DEPRESSION THE FLOOR AREAS: FILL-IN THESE AREAS, AS WELL AS ANY OTHER HOLES, PIPE CUTS AND/OR OBSOLETE SERVICE BOXES AND PATCH WITH SAME SMOOTH-TROWELED CONCRETE, AT THE SAME ROOM LEVEL AS EXISTING ADJACENT FINISHED CONCRETE FLOOR SURFACE IN SINGLE AND UNINTERRUPTED PLANE. KEYED IN AS REQUIRED, READY TO ACCEPT NEW FLOOR FINISH AS SHOW SPECIFIED AND/OR IMPLIED. B. REMOVE ALL EXISTING FLOOR FINISHES AND/OR COATING WITHIN THE AREAS (WHERE NOT SPECIFIED AS BEING FINISHED OTHERWISE) INCLUDING ANY ADHESIVE OR RESIDUE AND PREPARE (GRINDING AND OTHERWISE REQUIRED) FOR FINISHING AS SPECIFIED. C. ALL ADJACENT FLOOR FINISHES (WHETHER SIMILAR OR NOT SHALL BE UN-INTERRUPTED AND FLUSH WITH EACH OTHER WITHOUT ANY EXPOSED LIP OR LEVEL CHANGE, SO AS NOT TO CONSTITUTE ANY HAZARD, AND PERMIT SMOOTH FINISHING FLOOR.
12. ALL EXISTING SHALL REMAIN AS-IS, WHERE-IS, EXPECT AS SHOWN OTHERWISE, OR WHERE AFFECTED BY NEW CONSTRUCTION.
13. FILL-IN, PATCH AND MAKE GOOD, ANY EXPOSED WALLS, PARTITIONS AND/OR CEILING AREA, ALL TO MATCH EXISTING.
14. A. MAINTAIN ANY EXISTING FIRE SEPARATION AND/OR PROTECTION. PATCH, MAKE-GOOD AND REPAIR ALL EXISTING AND REQUIRED, WHERE DAMAGED AND/OR AFFECTED BY ANY NEW CONSTRUCTION. EXTEND ALL FIRE-SEPARATION FROM CONCRETE SLAB FLOOR UP TO U/S ROOF SLAB ABOVE; ALL TO MATCH EXISTING AND/OR REQUIRED FIRE PROTECTION. B. ALL OPENING IN/THROUGH FIRE RATED WALLS/PARTITIONS SHALL BE COMPLETELY SMOKE SEALED AND ALL FIRE STOPPED USING SUITABLE ULC- LABELED MATERIALS; THE USE OF REGULAR DRYWALL COMPOUND AND/OR CAULKING IS NOT ACCEPTABLE.
15. MANUFACTURE AND INSTALL ALL NEW MILLWORK AS SHOWN, SPECIFIED AND/OR REQUIRED, COMPLETE WITH ANY ELECTRICAL AND/OR PLUMBING CONNECTIONS AS SHOWN AND/OR REQUIRED.
16. FINISH/RE-FINISH ALL NEW AREAS (FLOORS, WALLS AND/OR CEILINGS) AND THOSE AFFECTED BY NEW CONSTRUCTION, AS SHOWN, SPECIFIED AND/OR IMPLIED, TO MATCH EXISTING ADJACENT UNLESS SHOWN OTHERWISE.
17. SUPPLY AND INSTALL ALL NEW LIGHT FIXTURES AND LAMPS (ONLY FROM MANUFACTURES SPECIFIED) AS SHOWN, PLUS ANY NECESSARY ELECTRICAL POWER SUPPLIES FOR THESE AND/OR ANY EQUIPMENT AND/OR MILLWORK AS REQUIRED.
18. SUPPLY AND INSTALL ALL NEW EXPOSED UPTURNED AND/OR CHROME, SEMI-RECESSED PENDANT SPRINKLERS HEADS, AS PER BASE BUILDING STANDARDS, AS SHOWN, SPECIFIED AND/OR REQUIRED.
19. EXCEPT WHERE SHOWN OTHERWISE, ALL MILLWORK AND/OR FF&E SHALL BE SUPPLIED AND DELIVERED TO THE SITE AND SET IN PLACE (APPROXIMATELY) BY THE TENANT. ALL FINAL AND ACCURATE PLACEMENT AND HOOK UP TO ELECTRICAL AND/OR MECHANICAL SHALL BE BY GENERAL CONTRACTORS.
20. WHEN ANY PROPOSED/SPECIFIED ITEMS ARE 'TO MATCH EXISTING' (WHETHER SPECIFIED AS SUCH, OR NOT), THE CONTRACTOR(S), PRIOR TO ORDERING, SHALL CONFIRM ON SITE THAT ALL SUCH ITEMS MATCH ESTABLISHED BASE BUILDING STANDARDS.
21. ALL SIGNAGE IS SUPPLIED AND/OR INSTALLED BY THE TENANT TO THE BASE BUILDING STANDARD.

SYMBOLS:

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NEW DOOR.



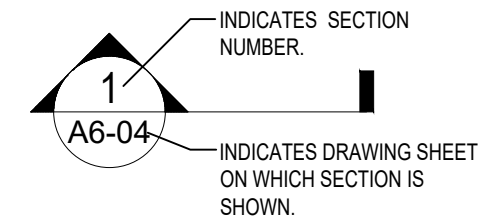
EQUIPMENT/ACCESSORY KEYNOTE SYMBOL.



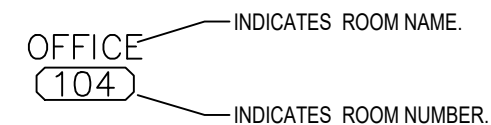
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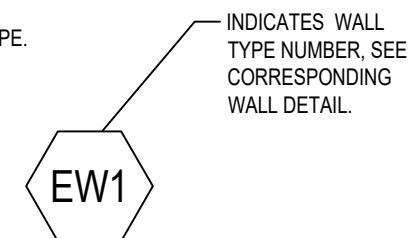
BUILDING, WALL AND DETAIL SECTION MARK.



ROOM NUMBER.



WALL TYPE.



GENERAL NOTES:
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ENGINEER:

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TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

(ACT PHYSIOTHERAPY AND HEALTH CLINIC)

1441 ONTARIO ST,
BURLINGTON ST, BARRIE

SHEET TITLE:

GENERAL NOTES

CHECKED: TP
DRAWN: MA
SCALE: N/A
DATE: FEB 02 2025

DRAWING:

TS-G